



AGENDA
PLAN COMMISSION MEETING
RICHFIELD VILLAGE HALL
4128 HUBERTUS ROAD, HUBERTUS, WISCONSIN
August 6, 2020
7:00 P.M.

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Richfield Plan Commission, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. Notice of Village Board Quorum, (Chairperson to announce the following if a quorum of the Village Board is in attendance at the meeting: "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during any Public Hearing(s) or if the rules are suspended to allow them to do so.")

1. Call to Order/Determination of quorum
2. Verification of Open Meetings Law compliance
3. Pledge of Allegiance
4. DISCUSSION/ACTION
 - a. Discussion and possible recommendation to the Village Board regarding a proposed rezoning for property identified by Tax Key: V10_0008020 from A-1, Exclusive Agricultural District to M-4, Industrial Park District – *Endeavor Business Park 13, LLC., Petitioner*
 - b. Discussion and possible recommendation to the Village Board regarding a One-Lot CSM for properties identified by Tax Keys: V10_0008020D and V10_0008020 in the Endeavor Business Park – *Endeavor Business Park 13, LLC., Petitioner*
 - c. Discussion and possible recommendation to the Village Board regarding a proposed Ordinance Amendment to Section 70.207(D)(1) to allow "Camping Cabins" as a Conditional Use in the P-1, Parks and Recreation District – *Washington County Planning and Parks Department, Petitioner*
 - d. Discussion/Action regarding amendments to Site Plan for Pleasant Hill Pub and Grill, located at 2102 STH 164 (Tax Key: V10_008200Z – *Pleasant Hill Management LLC., Petitioner*
 - e. Discussion/Action regarding a Plan of Operation for Joel Whitburn's Record Research Inc. located at 3051 Beechwood Industrial Court (Tax Key: V10_088200K) – *Record Research Inc., Petitioner*
 - f. Discussion/Action regarding a Plan of Operation for AKA Custom Lids located at 1284 STH 175 (Tax Key: V10_088100F) – *AKA Custom Lids, Petitioner*
 - g. Discussion/Action regarding a Plan of Operation for Midwest Spice Company located at 3070 Helsan Drive (Tax Key: V10_000200A008) – *Midwest Spice Company LLC., Petitioner*

5. ADJOURNMENT

Additional explanation of items on the agenda (Communication Forms) can be found on the village's website at www.richfieldwi.gov. Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's office at 628-2260 with as much advance notice as possible.

4a-b



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

4a+b

MEETING DATE: August 6, 2020

SUBJECT: Rezoning Petition and Certified Survey Map – Endeavor Business Park 13, LLC.

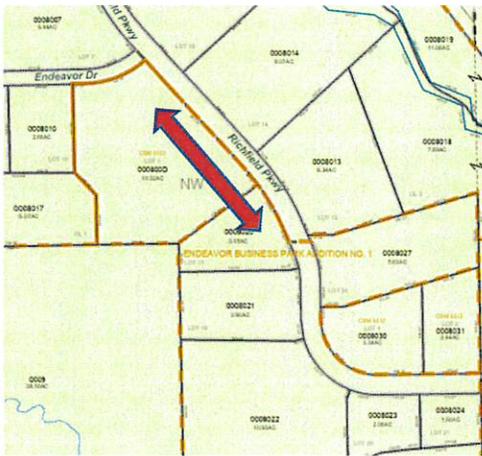
DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO RECOMMEND APPROVAL OF THE PROPOSED REZONING OF THE SUBJECT PROPERTY AND THE RELATED ONE-LOT CSM?

ISSUE SUMMARY:

Rezoning Discussion:

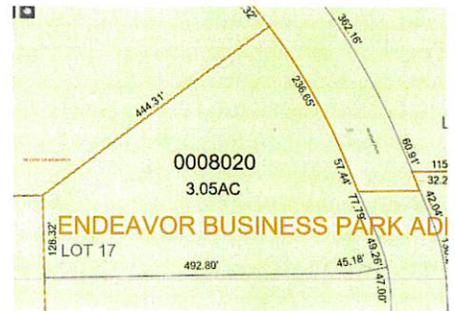


Endeavor Business Park 13, LLC is requesting rezoning approval for parcel V10_0008020 (pictured below right), Lot 17 of Endeavor Business Park Additional No. 1 from the current Zoning of A-1, Exclusive Agricultural District to M-4, Industrial Park District. As a part of the petition, a Certified Survey Map is proposed to combine this property with the adjacent property to the north to allow for the development of a proposed corporate office building and manufacturing facility. Artistic renderings and a proposed Site Plan for the property are included in the attachments for your convenience. The properties in question are shown together in the insert directly left and indicated by the red arrow.

The initial phase of the proposed project includes an approximate 30,000sqft 2-story corporate office facility. The corporate office will be the core of the manufacturing and future building module additions of approximately 20,000sqft per module. The full buildout for the property would be a structure that is approximately

150,000sqft. Each module is anticipated to be a separate business unit stemming from the corporate office, which is owned by the property owner, Mr. Mark G. Sellers.

The Endeavor Business Park was created in 2004-2005 with the intent of attracting manufacturing business to develop in the area and is strategically located adjacent to the State and Interstate transportation networks. The M-4, Industrial Park Zoning District, is compatible with the surrounding manufacturing land uses in the Business Park and follows the Village’s Future Land Use Map.



A Class II Public Hearing Notice has been scheduled for our August Village Board meeting on August 20th. Notice will be sent to the Daily News and property owners within 300’ of the subject property the week of August 3rd.

Certified Survey Map Discussion:

The property owner is proposing to combine two properties to create a 13.365-acre parcel on the corner of Richfield Drive and Endeavor Parkway. Village Engineer Ron Dalton has reviewed the proposed CSM and his letter dated July 15, 2020 is attached herein for your convenience. The Engineer’s recommendation is for approval pending a few minor changes which he has outlined. The most significant of his comments is related to a stormwater drainage easement which is identified by number “5” on the face of the CSM. Village Staff is recommending that this drainage easement be relocated and noted as such on the face of the CSM. This comment will be addressed in the stormwater maintenance agreement that will be required as a part of the Site, Building and Plan of Operation review which will be forthcoming during the month of September.



VILLAGE OF RICHFIELD
PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Rezoning Petition and Certified Survey Map – Endeavor Business Park 13, LLC.
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY: _____


Village Deputy Clerk

Forward to Village Board: Yes
Additional Approvals Needed: Yes
Signatures Required: Yes

ATTACHMENTS:

1. CSM for Subject Property Prepared by Excel Engineering
2. Rezoning Exhibit submitted by Excel Engineering
3. Proposed Site Plan submitted by Excel Engineering
4. Proposed Floor Plan submitted by Excel Engineering
5. Letter from Village Engineer Ron Dalton dated July 15, 2020
6. DRAFT Class II Public Hearing Notice



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Rezoning Petition and Certified Survey Map – Endeavor Business Park 13, LLC.
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Rezoning

Motion to recommend to the Village Board the approval of the proposed rezoning of the subject property identified by Tax Key: V10_0008020 from A-1, Exclusive Agricultural District to M-4, Industrial Park District.

Certified Survey Map

Motion to recommend to the Village Board the approval of the proposed One-Lot CSM for Endeavor Business Park 13, LLC. for property identified by Tax Keys: V10_0008020 and V10_0008020D subject to the following Specific and General Conditions of Approval:

Specific Conditions of Approval:

- 1. The applicant address, to the satisfaction of the Village Engineer, comments from his letter dated July 15, 2020.
2. The Village Board accept the recommendation of the Plan Commission for the petitioned Rezoning of the subject property from A-1, Exclusive Agricultural District to M-4, Industrial Park District.

General Conditions of Approval:

- 1. Staff and Governmental Approval: Subject to the developer satisfying all comments, conditions and concerns of the Village Planner, Village Engineer and all reviewing, objecting and approving bodies, which may include but not limited to the State of Wisconsin Department of Safety and Professional Services per Ch. 236, Wisconsin Statutes and Ch. SPS 385, Wisconsin Administrative Code; the State of Wisconsin Department of Transportation per Ch. Trans. 236, Wisconsin Statutes, and Washington County; in regard to the Final Plat, and obtaining all necessary permits and approvals, and satisfaction of applicable requirements of State, Federal and Village Codes, statutes, lawful orders, prior to commencing recording of the Final Plat, whichever is earlier.
2. Professional Fees: Petitioner shall, on demand, reimburse the Village of all costs and expenses of any type that the Village incurs in connection with this development, including the cost of professional services incurred by the Village (including engineering, legal, planning and other consulting fees) for the review and preparation of required documents or attendance at meetings or other related professional services for this application, as well as to enforce the conditions in this conditional approval due to a violation of these conditions.
3. Payment of Charges: Any unpaid bills owed to the Village by the subject property owner or his or her tenants, operators or occupants, for reimbursement of professional fees (as described above); or for personal property taxes; or for real property taxes; or for licenses, permit fees or any other fees owed to the Village shall be placed upon the tax roll for the Subject Property if not paid within 30 days of billing by the Village, pursuant to Section 66.0627, Wis. Stats. Such unpaid bills also constitute a breach of the requirements of this conditional approval that is subject to all remedies available to the Village, including possible cause for termination of the conditional approval.

APPROVED FOR SUBMITTAL BY:

Signature of Village Staff Member and Village Administrator

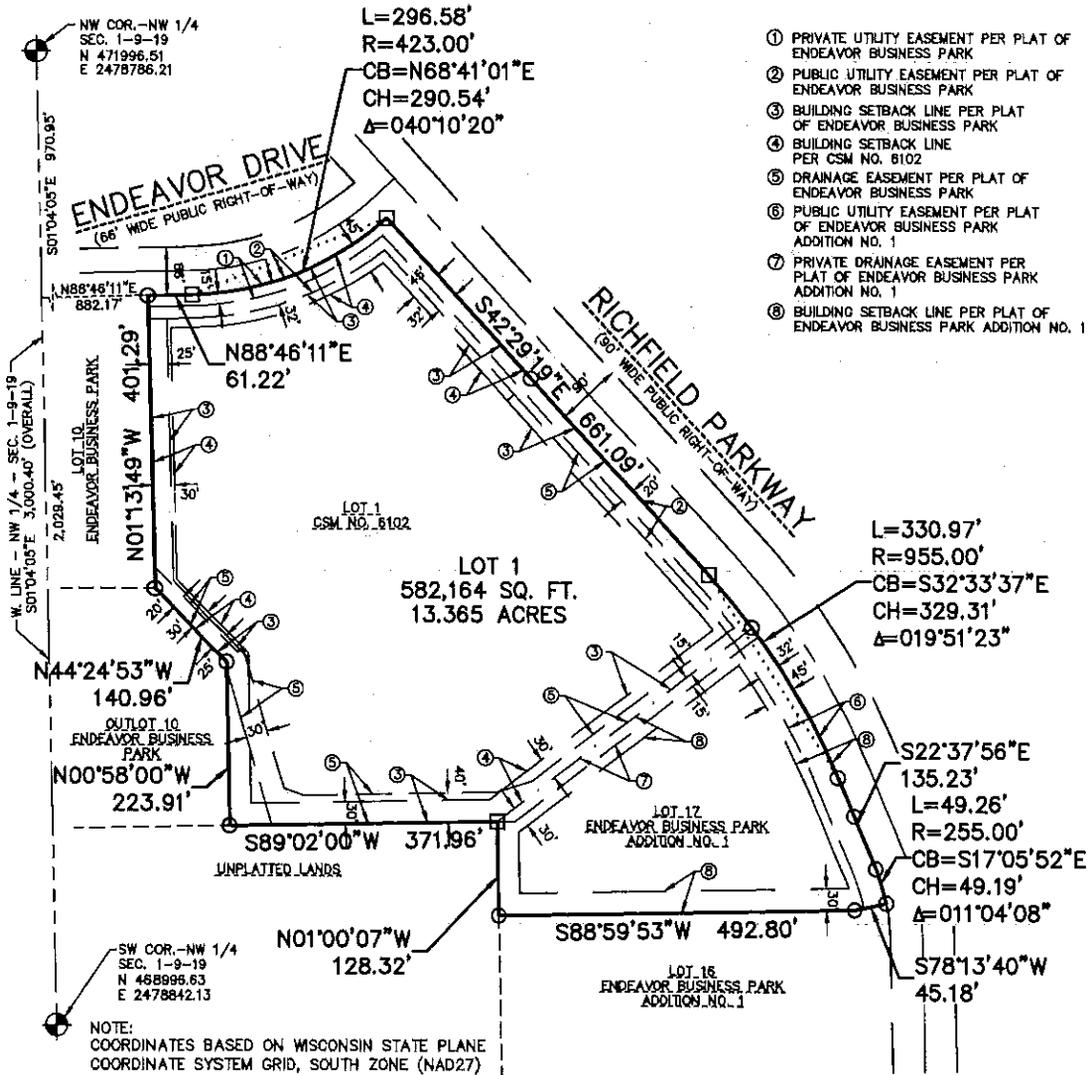
VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No.
Ordinance No.
Approved
Other

Continued To:
Referred To:
Denied
File No.

CERTIFIED SURVEY MAP NO.

FOR
ENDEAVOR BUSINESS PARK13 LLC
 LOT 1 OF CSM NO. 6102 & LOT 17 OF ENDEAVOR BUSINESS
 PARK ADDITION NO. 1, BEING PART OF THE NW 1/4, NE 1/4,
 SE 1/4 OF THE NW 1/4, SECTION 1, TOWNSHIP 9 NORTH,
 RANGE 19 EAST, VILLAGE OF RICHFIELD,
 WASHINGTON COUNTY, WISCONSIN.

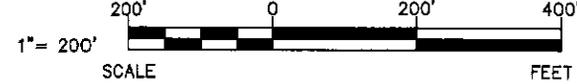


- ① PRIVATE UTILITY EASEMENT PER PLAT OF ENDEAVOR BUSINESS PARK
- ② PUBLIC UTILITY EASEMENT PER PLAT OF ENDEAVOR BUSINESS PARK
- ③ BUILDING SETBACK LINE PER PLAT OF ENDEAVOR BUSINESS PARK
- ④ BUILDING SETBACK LINE PER CSM NO. 6102
- ⑤ DRAINAGE EASEMENT PER PLAT OF ENDEAVOR BUSINESS PARK
- ⑥ PUBLIC UTILITY EASEMENT PER PLAT OF ENDEAVOR BUSINESS PARK ADDITION NO. 1
- ⑦ PRIVATE DRAINAGE EASEMENT PER PLAT OF ENDEAVOR BUSINESS PARK ADDITION NO. 1
- ⑧ BUILDING SETBACK LINE PER PLAT OF ENDEAVOR BUSINESS PARK ADDITION NO. 1

LEGEND

- - 1 1/4" REBAR FOUND
- - 3/4" REBAR FOUND
- - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27). THE WEST LINE OF THE NORTHWEST 1/4 OF SECTION 1 HAS A BEARING OF NORTH 01°-04'-05" WEST.



OWNER:
 ENDEAVOR BUSINESS PARK13 LLC
 C/O HUSCH BLACKWELL LLP
 555 E. WELLS STREET, SUITE 1900
 MILWAUKEE, WI 53202

SHEET 1 OF 4 SHEETS



EXCEL
 ENGINEERING, INC.
 SURVEYING GROUP

Always a Better Plan
 100 CAMELOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 925-9800
 FAX: (920) 925-9801

PROJECT NO. 2023580

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CSM NO. 6102 & LOT 17 OF ENDEAVOR BUSINESS PARK ADDITION NO. 1,
BEING PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 & SOUTHEAST 1/4 OF THE NORTHWEST
1/4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 19 EAST, VILLAGE OF RICHFIELD,
WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Endeavor Business Park13 LLC
bounded and described as follows:

Lot 1 of Certified Survey Map No. 6102 recorded in the Washington County Register of Deeds office
as Document No. 1145128 & Lot 17 of Endeavor Business Park Addition No. 1 Plat recorded in the
Washington County Register of Deeds office as Document No. 1164869, all being part of the Northwest 1/4,
Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 1, Township 9 North, Range 19 East,
Village of Richfield, Washington County, Wisconsin containing 13.365 acres (582,164 sq. ft.) of land more
or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the
subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the
Subdivision Ordinance of the Village of Richfield in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 2023580

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CSM NO. 6102 & LOT 17 OF ENDEAVOR BUSINESS PARK ADDITION NO. 1,
BEING PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 & SOUTHEAST 1/4 OF THE NORTHWEST
1/4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 19 EAST, VILLAGE OF RICHFIELD,
WASHINGTON COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Endeavor Business Park13 LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Endeavor Business Park13 LLC does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

1. Village of Richfield

WITNESS the hand and seal of said owner this _____ day of _____, 20__.

Endeavor Business Park13 LLC

(Print)

(Title)

STATE OF _____)

_____ COUNTY)SS

Personally came before me this _____ day of _____, 20__, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____

My Commission Expires: _____

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CSM NO. 6102 & LOT 17 OF ENDEAVOR BUSINESS PARK ADDITION NO. 1,
BEING PART OF THE NORTHWEST 1/4, NORTHEAST 1/4 & SOUTHEAST 1/4 OF THE NORTHWEST
1/4, SECTION 1, TOWNSHIP 9 NORTH, RANGE 19 EAST, VILLAGE OF RICHFIELD,
WASHINGTON COUNTY, WISCONSIN.

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Richfield on this _____ day of _____, 2020.

James Otto, Chairman

Date

Secretary

Date

VILLAGE BOARD APPROVAL

Approved by the Village Board of the Village of Richfield on this _____ day of _____, 2020.

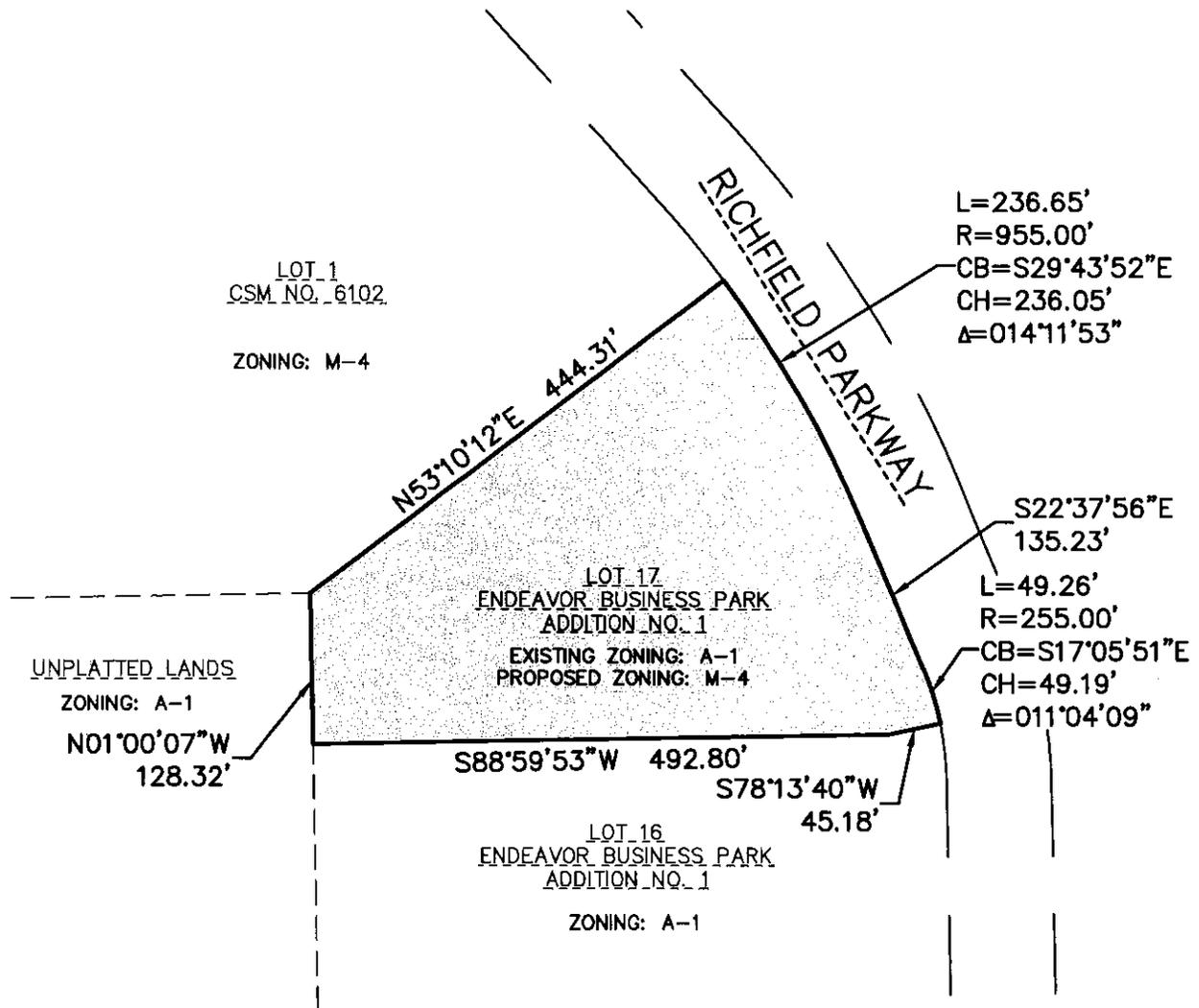
John Jeffords, Village President

Date

Donna Cox, Deputy Clerk

Date

ZONING EXHIBIT



UNPLATTED LANDS
ZONING: A-1
N01°00'07"W
128.32'

LOT 17
ENDEAVOR BUSINESS PARK
ADDITION NO. 1
EXISTING ZONING: A-1
PROPOSED ZONING: M-4

LOT 16
ENDEAVOR BUSINESS PARK
ADDITION NO. 1
ZONING: A-1

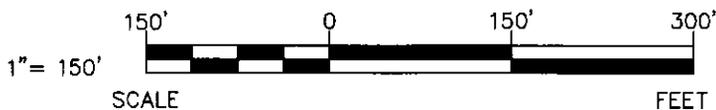
ZONING DISTRICT KEY

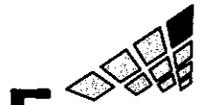
- A-1 - EXCLUSIVELY AGRICULTURE
- M-4 - INDUSTRIAL PARK

LEGAL DESCRIPTION:

Lot 17 of Endeavor Business Park Addition No. 1 plat, recorded in the Washington County Registry on June 28, 2007 in Volume 48 of Plats on Page 44, as Document No. 1164869, and being a part of the Northeast 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 1, Township 9 North, Range 19 East, in the Village of Richfield, Washington County, Wisconsin.

DATE: JULY 8, 2020





EXCEL
ENGINEERING Inc.
SURVEYING GROUP
PROJECT NO. 2023580

Always a Better Plan
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

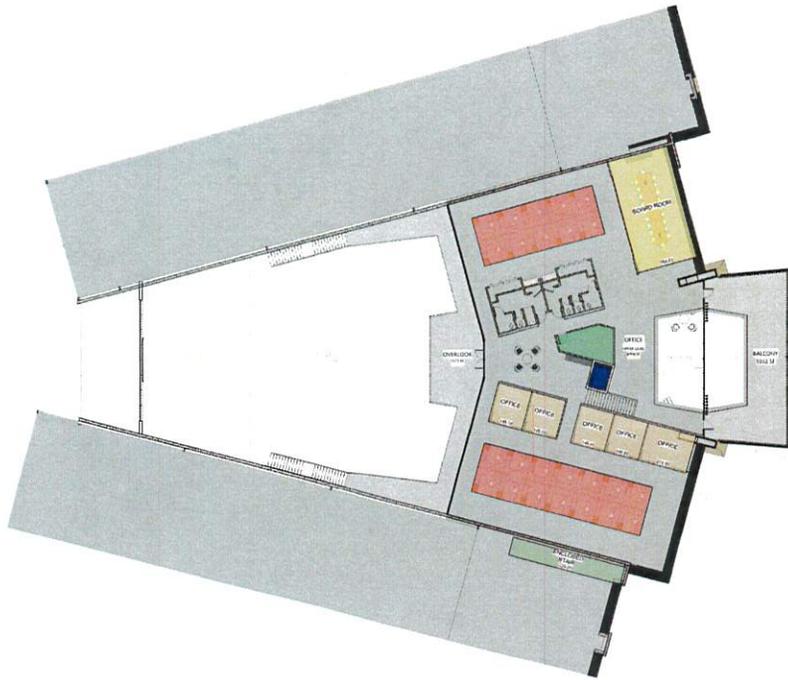
PROJECT INFORMATION

RICHFIELD DEVELOPMENT



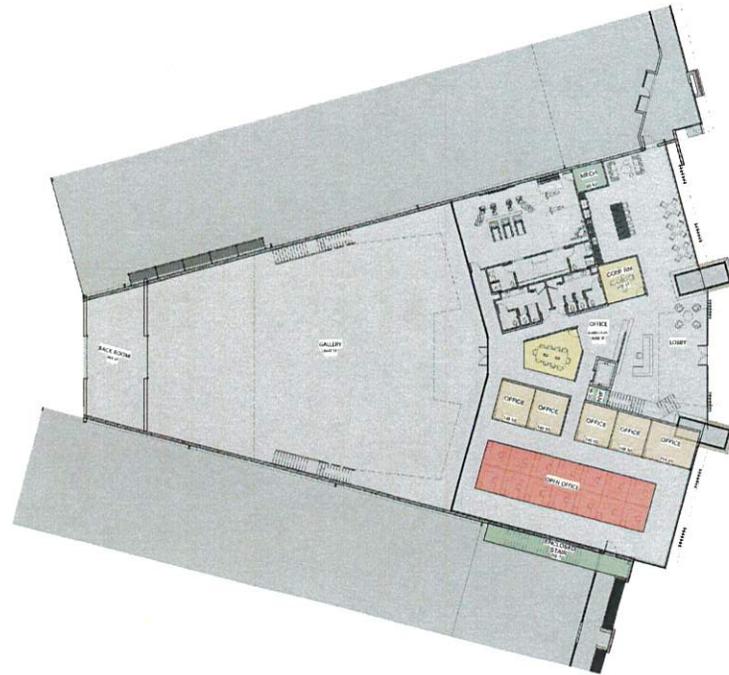
EAST ELEVATION

SCALE: 1/8" = 1'-0"



CONCEPTUAL FLOOR PLAN - UPPER LEVEL

SCALE: 1/8" = 1'-0"



CONCEPTUAL FLOOR PLAN - MAIN LEVEL

SCALE: 1/8" = 1'-0"

PROFESSIONAL SEAL

PRELIMINARY DATES
 MAY 29, 2020
 JULY 2, 2020

JOB NUMBER
 2023580

SHEET NUMBER

A1.0

NOT FOR CONSTRUCTION




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EXCEL
ARCHITECTS • ENGINEERS • SURVEYORS



engineering | architecture | environmental | surveying
landscape architecture | planning | economic development

W61 N497 Washington Avenue
Cedarburg, WI 53012
262-204-2360
800-472-7372
FAX 262-375-2688
www.cedarcorp.com

July 15, 2020

Mr. James Healy, Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, Wisconsin 53033

RE: Endeavor Business Park13 LLC. Certified Survey Map (CSM) Review

Dear Mr. Healy:

We have completed our review of the above referenced CSM received on July 13th, 2020. The CSM was prepared by Ryan, Wilgreen P.L.S. of Excel Engineering, Inc. It is our understanding that the proposed Land Division is being proposed under section 330 of the Village Code.

We have the following comments and recommendations:

Sheet 1:

- Verify pipe symbology as noted
- Add borings per Village of Richfield code 330-34 A(8)
- Add existing and proposed topography per Village of Richfield code 330-34(B)
- Endeavor Business Park Addition No.1 is zoned industrial(M-4) show only the appropriate setbacks
- It is our understanding that the drainage easement along the common lot line of Lot 1 and Lot 17 is planned to be moved. Would it be reasonable to show/create the easement on this CSM?

Sheet 4:

- Remove Plan Commission Approval certificate

Submitted data has been reviewed for conformance with generally accepted surveying practices and Village policies. Although this data has been reviewed, the surveyor is responsible for the thoroughness and accuracy of survey and supplemental data and for compliance with all state and local codes, ordinances, and procedures. Modification to the survey, etc., may be required should errors or changed conditions be found at a future date.

Please contact me at our Cedarburg office (phone 262-204-2341) if you require any additional information or if you have any questions.

Sincerely,

CEDAR CORPORATION
Mitchell Reimer, P.L.S.
Professional Land Surveyor
RD/MJR

CEDAR CORPORATION
Ron Dalton, P.E.
Director/Office Manager

Enclosure(s): As Noted

Cc: Ryan Willgreen, Excel Engineering Inc, w/encl., via email

(Class II Public Notice)
NOTICE OF PUBLIC HEARING
VILLAGE OF RICHFIELD
Thursday, August 20, 2020

PLEASE TAKE NOTICE:

Notice is hereby given, pursuant to Section 19.84, Wis. Stats., and provisions of the Village of Richfield Code of Ordinances, that the Village of Richfield Village Board will conduct two (2) public hearing on Thursday, August 20, 2020 at the Richfield Village Hall located at 41218 Hubertus Road.

- 1) Proposed Ordinance Amendment to the P-1, Parks and Recreation District Subsection "D", to allow "Camping Cabins" as a Conditional Use
- 2) Rezoning petition by Endeavor Business Park 13, LLC. to rezone property identified by Tax Key: V10_0008020 from A-1, Exclusive Agricultural District to M-4, Industrial Park District

For information regarding these petitions, please contact Jim Healy, Village Administrator at (262)-628-2260. This application is available during normal business hours. All interested parties will be heard.

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's Office at (262)-628-2260 with as much advanced notice as possible.

Dated this 31st day of July 2020.

Publication Dates:

August 06, 2020

August 13, 2020

Jim Healy
Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033
(262)-628-2260

4c



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

4c

MEETING DATE: August 6, 2020

SUBJECT: Ordinance Amendment to P-1, Parks and Recreation District – Camping Cabins in Glacier Hills Park
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO RECOMMEND TO THE VILLAGE BOARD THE APPROVAL OF THE PROPOSED ORDINANCE AMENDMENT?

ISSUE SUMMARY:

Washington County has proposed an amendment to allow “Camping Cabins” as a Conditional Use in the P-1, Parks and Recreation District. This legislative amendment to our Zoning Code was discussed with the Village Board on January 23, 2020. It was the Village Board’s recommendation that if the County was going to propose such an amendment that 1) it be handled as a Conditional Use and 2) it be limited to Glacier Hills Park.

On June 3, 2020 Attorney Kim Lechner, Deputy County Attorney, drafted a proposed Ordinance amendment which would do expressly what was suggested by the Village Board. Upon review, the Village Attorney had several concerns which have been previously outlined to the Plan Commission, namely that the Ordinance be drafted in a way to narrowly apply to government-owned lands and not be written in a way that could be construed to be referencing “tent camping”, which is not the intent of this proposed Ordinance. On July 14th, a revised draft of the Ordinance was put forth and reviewed by the Village Attorney. His correspondence dated July 30th is attached herein for your convenience.

Of importance, I outline the following related to this Ordinance Amendment:

- “Camping Cabins” are limited to those which are operated in conformance with Agriculture, Trade, and Consumer Protection (ATCP) 79 entitled “Campgrounds” and Department of Safety and Professional Services (SPS) 327 entitled “Camping Units”.
 - In the Village Code of Ordinances, they were previously licensed under Department of Health Family Services (HFS) 178. This language is in substantial conformance with ATCP 79.
 - SPS 327 pertains to Department of Safety and Professional Services (SPS) Administration and Enforcement, (cabin) Construction Standards, HVAC requirements, and Electrical Standards, Plumbing, and Camping Unit Transfer Tanks. When the previously constructed cabins in Glacier Hills were remodeled, these are the standards they were constructed to.
- The number of cabins has been limited to one (1) cabin per 14 acres. Glacier Hills County Park is 140-acres of land. They currently have five (5) camping cabins on the property. This would allow them to build five (5) more.
- To address the concern regarding the proliferation of these types of cabins on properties zoned P-1, Parks and Recreation, the County is proposing to limit the use to properties that are “government-owned” and zoned P-1. In the Village of Richfield, this would equate to lands owned by our community and Glacier Hills Park, only.
- To address concerns heard from the public, the County is proposing that no “camping cabin” shall be erected within 250’ of a public roadway and a minimum of 50’ from property boundary lines.

Because of the way the new (Conditional Use Permit) CUP laws have been written into Wisconsin State Statutes, the Plan Commission and the Village Board are required to hold a joint public hearing, to act in a quasi-judicial manner. Therefore, it would be inappropriate for the Plan Commission (and the same held true for the Village Board) to hear the reason “why” the County is proposing this Ordinance. But suffice it to say, it is likely we will be receiving a proposal should the Plan Commission and Village Board approve the proposed amendment.



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Ordinance Amendment to P-1, Parks and Recreation District – Camping Cabins in Glacier Hills Park

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

In the minutes of the Plan Commission meeting from March when this matter was last discussed, a recommendation came from the Plan Commission to the Village Board for the denial of the proposed Ordinance Amendment. Of concern from the Plan Commission at that time were the following considerations:

- The draft ordinance language had not been reviewed by the Village Attorney prior to them seeing the language.
 - The draft ordinance language has now been reviewed.
- There were concerns regarding language from the previous iterations of the Code being inserted back into the text which were not consistent with the proposal. For instance, in the previous P-1, Parks and Recreation District Conditional Uses text the following language was proposed:

“Campgrounds, licensed under and operated in conformance with the requirements of HFS 178 of the Wisconsin Administrative Code that meet the following additional conditions and requirements:

- a. The minimum size of a campground shall be 10 gross acres.*
- b. The maximum number of individual campsites shall be 12 per net acre.*
- c. The minimum dimensions of a campsite shall be 50 feet wide by 70 feet long.*
- d. Each campsite shall be separated from other campsites within the campground by a yard area not less than 15 feet wide.*
- e. No individual campsite shall be located closer than 75 feet from a public highway or road right-of-way, nor closer than 40 feet to any other property boundary.*
- f. Each campground shall be completely enclosed except for permitted entrances and exits by either a temporary planting of fast-growing plant material, capable of reaching a height of 10 feet or more within two years, or a permanent evergreen planting, the individual trees to be of such a number and so arranged that within 10 years a dense screen will be formed. Such permanent planting shall be grown or maintained to a height of not less than 10 feet.”*

◦ The above language does not exist in our Code. All Conditional Uses in the Village Code were removed. I have clarified with the Parks and Trails Manager for Washington County, the intent of what he has drafted is to create 70.207(D)(1). **It would be drafted as such:**

- ✓ *70.207(D)(1): Camping Cabins on government-owned lands zoned P-1, which meet the requirements of 70.207(D)(1)(a)(b) and are licensed under and operated in conformance with ATCP 79 and SPS 327; not to exceed more than 1 cabin per 14 acre.*
 - a. Minimum setback of 250’ from public roadways*
 - b. Minimum setback of 50’ from property line*

- The draft ordinance was not in proper ordinance format.
 - Village Staff has placed the draft ordinance in proper format.

In consideration of this proposed amendment, I would make mention of the fact that the County has been working closely with the Friess Lake Advancement Association and this is something that has received an endorsement from their organization on. A chief concern of the Village has been the security aspect of the properties and what enforcement actions would be necessary should a campsite become “rowdy” or cause a disturbance. Previously, Glacier Hills Park had a County Ranger who lived there full-time to assist with such matters. From speaking with Mr. Hyde, the County is planning to have a County employee on-site to act as a point of contact in case of an emergency. It is unknown whether this attendant will be there seven (7) days per week or only on the weekends. In the years that this site has been functioning as a camp site which is available to rent, the Village has not been made aware of any of issues from adjacent property owners.

Mr. Hyde will be present the night of the meeting should any subsequent questions need to be directly addressed.



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Ordinance Amendment to P-1, Parks and Recreation District – Camping Cabins in Glacier Hills Park

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY:

[Signature]
Village Deputy Clerk

Forward to Village Board: Yes
Additional Approvals Needed: Yes
Signatures Required: Yes

ATTACHMENTS

1. Letter from Village Attorney John Macy dated July 30, 2020
2. Memo from Washington County Parks and Trails Manager Eric Hyde dated July 14, 2020
3. DRAFT Ordinance O2020-__ - __, an Ordinance to Create Section 70.207(D)(1) of the Zoning Code Related to "Camping Cabins" as a Conditional Use in the P-1, Parks and Recreation District
4. DRAFT Class II Public Hearing Notice

STAFF RECOMMENDATION:

Motion to recommend to the Village Board the proposed Ordinance Amendment to allow "Camping Cabins" as a Conditional Use in the P-1, Parks and Recreation District.

APPROVED FOR SUBMITTAL BY:

[Signature]
Village Staff Member

[Signature]
Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No. _____
Ordinance No. _____
Approved _____
Other _____

Continued To: _____
Referred To: _____
Denied _____
File No. _____

Municipal LAW

& LITIGATION GROUP

DALE W. ARENZ, RETIRED
DONALD S. MOLTER, JR., RETIRED
JOHN P. MACY
H. STANLEY RIFFLE
COURT COMMISSIONER
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WAUKESHA, WISCONSIN 53186
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AMY FRY-GALOW
CHRISTOPHER R. SCHULTZ
ANTHONY J. GARCIA
SADIE R. ZURFLUH

July 30, 2020

Jim Healy, Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033

**Re: Camping Cabins on Washington County Owned Lands
Washington County Rezoning Request
Revised Request**

Dear: Mr. Healy:

I received your request that I review the revised request from Waukesha County, seeking to amend the Village Zoning Code concerning camping cabins in the P-1 district. This follows upon my review letter of July 6th, in which I reviewed the first request from the county in this regard. I have had an opportunity to carefully consider this matter.

Based upon my review, I have the following comments, questions, concerns and recommendations in this regard:

1. Issue 1: On July 6th I commented on the definition "camping cabins". That note is still relevant, and is provided here again for your consideration of the policy issue:

The ordinance would allow "camping cabins." Although the ordinance draft does not define that term, it references certain administrative rules, including ATCP 79 which includes a definition of a "camping cabin" as follows: "Camping cabin means a building or other structure that is 400 square feet or less in area. A camping cabin includes a yurt, but does not include a tent, recreational vehicle, tourist rooming house, mobile home or manufactured home." Please be sure that this will be acceptable as a policy matter.

2. Issue 2: On July 6th I commented on the statement provided at that time, that "camping cabins cannot exceed 10 per parcel." That issue has been revised in the latest request. They now propose that the number be limited to "1 cabin per 14 acres." You can consider whether this is acceptable as a policy matter.
3. Issue 3: On July 6th I commented on the ordinance limitation, which limited the use to lands owned by Washington County. That issue has been resolved in this draft by the suggestion that the use be limited to government-owned lands in the P-1 District.

MUNICIPAL LAW & LITIGATION GROUP, S.C.
ARENZ, MOLTER, MACY, RIFFLE, LARSON & BITAR

MUNICIPAL LAW & LITIGATION GROUP, S.C.

Jim Healy
July 30, 2020
Page 2

4. Issue 4: On July 6th I commented on the standards that would apply to the issuance of the conditional use permit. That issue has been modified. The request now proposes that the only standards to apply to the issuance of the conditional use permit are:

- Zoned P-1
- Government owned
- licensed under and operated in conformance with ATCP 79 and SPS 327
- not to exceed more than 1 cabin per 14 acres
- Minimum setback of 250' from public roadways
- Minimum setback of 50' from property line

Please be sure that the Village is prepared to issue the CUP upon proof that the applicant satisfies these conditions.

5. Issue 5: On July 6th I commented that I could put the ordinance into an appropriate ordinance form on request, and I remain available to do so on request.

Whether the Village is inclined to adopt the ordinance requested by Washington County is a policy matter. If you should have any questions or concerns regarding this matter, please do not hesitate to contact me.

Yours very truly,

MUNICIPAL LAW & LITIGATION GROUP, S.C.

John P. Macy

John P. Macy

JPM/egm

cc: Donna Cox, Village Deputy Clerk



Planning and Parks Department

Jamie Ludovic, Central Services Director

Debora Sielski, Deputy Director Planning and Parks

Eric Hyde, Parks & Trails Manager

Public Agency Center
333 E. Washington Street, Suite 2300
P.O. Box 2003
West Bend, WI 53095-2003
(262) 335-4445
Fax: (262) 335-6868
webplan@co.washington.wi.us
www.co.washington.wi.us/PPD

Date: 7/14/2020

To: Jim Healy, Village of Richfield Administrator

From: Eric Hyde, Washington County Parks & Trails Manager

RE: Request for Village Ordinance Amendment

The Washington County Planning and Parks Department is requesting an ordinance amendment to add a conditional use for camping cabins on government owned lands. We are requesting that the conditional use allow for camping cabins based on the language and conditions below.

70.207D.3 Camping cabins on government-owned lands zoned P-1, which meet the requirements of **70.207D.3 1 & 2** and are licensed under and operated in conformance with ATCP 79 and SPS 327; not to exceed more than 1 cabin per 14 acre.

- (1) Minimum setback of 250' from public roadways
- (2) Minimum setback of 50' from property line

Since all conditional uses were pulled and do not exist, we are requesting that the Village's Attorney rewrite this ordinance in the form of your ordinance language.

Please let me know if you have any questions or concerns with regards to this request. If you could let me know what the next step is for consideration of this amendment that would be appreciated.

Thanks,

Eric Hyde

Eric Hyde
Parks & Trails Manager
Washington County

**AN ORDINANCE TO CREATE SECTION 70.207(D)(1) OF THE ZONING CODE RELATED TO
“CAMPING CABINS” AS A CONDITIONAL USE
IN THE P-1, PARKS AND RECREATION DISTRICT**

WHEREAS, at the direction of the Plan Commission and Village Board, in October of 2018, the Village Staff was directed to delete all Conditional Uses from all Zoning Districts until such time as new legislation can be drafted to ensure the taxpayers are adequately protected; and

WHEREAS, on March 5, 2020, the Plan Commission recommended approval to the Village Board of the proposed Ordinance to handle “Conditional Use Administration” which was scheduled for Public Hearing on April 30, 2020. It was then subsequently approved; and

WHEREAS, the “Conditional Use Administration” process has been approved and adopted, but no actual “Conditional Uses” exist in our Village Code; and

WHEREAS, the County Planning and Parks Department has petitioned the Village to allow “Camping Cabins” on government-owned land that is zoned P-1 to legalize the existing camping cabins which are on the property and are currently rented out; and

WHEREAS, in March of 2020, a first draft of this proposed Ordinance Amendment was brought forward and recommended to the Village Board for denial by the Plan Commission; and

WHEREAS, County Attorney Kim Lechner has drafted a second version of the Ordinance which they believes more closely conforms to the comments heard during the public meeting;

WHEREAS, on August 6th the Plan Commission made a recommendation to the Village Board for **(APPROVAL OR DENIAL)**; and

WHEREAS, the Village Board of the Village of Richfield having carefully reviewed the recommendation of the Village Plan Commission, being fully informed and advised, having determined that all procedural requirements and notice requirements have been satisfied, hereby determines that this ordinance is consistent with the public necessity, convenience, and general welfare and good zoning practice.

NOW, THEREFORE BE IT RESOLVED, the Village of Richfield Village Board, Washington County, Wisconsin ORDAINS AS FOLLOWS:

Section 1. Section 70.207(D)(1) is hereby created to read as follows:

70.207(D)(1): Camping Cabins on government-owned lands zoned P-1, which meet the requirements of 70.207(D)(1)(a)(b) and are licensed under and operated in conformance with ATCP 79 and SPS 327; not to exceed more than 1 cabin per 14 acre.

- a. Minimum setback of 250' from public roadways
- b. Minimum setback of 50' from property line

Section 2. Severability. Several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 3. Effective Date. This ordinance shall become effective upon passage and publication/posting.

Adopted this ____ day of August, 2020.

Attest:

John Jeffords, Village President

Jim Healy, Village Clerk/Administrator

(Class II Public Notice)
NOTICE OF PUBLIC HEARING
VILLAGE OF RICHFIELD
Thursday, August 20, 2020

PLEASE TAKE NOTICE:

Notice is hereby given, pursuant to Section 19.84, Wis. Stats., and provisions of the Village of Richfield Code of Ordinances, that the Village of Richfield Village Board will conduct two (2) public hearing on Thursday, August 20, 2020 at the Richfield Village Hall located at 41218 Hubertus Road.

- 1) Proposed Ordinance Amendment to the P-1, Parks and Recreation District Subsection "D", to allow "Camping Cabins" as a Conditional Use
- 2) Rezoning petition by Endeavor Business Park 13, LLC. to rezone property identified by Tax Key: V10_0008020 from A-1, Exclusive Agricultural District to M-4, Industrial Park District

For information regarding these petitions, please contact Jim Healy, Village Administrator at (262)-628-2260. This application is available during normal business hours. All interested parties will be heard.

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's Office at (262)-628-2260 with as much advanced notice as possible.

Dated this 31st day of July 2020.

Publication Dates:

August 06, 2020
August 13, 2020

Jim Healy
Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033
(262)-628-2260

4d



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

4/d.

MEETING DATE: August 6, 2020

SUBJECT: Pleasant Hill Pub and Grill – 2102 STH 164 (Tax Key: V10_008200Z)
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO ACCEPT THE RECOMMENDATION FROM THE ARCHITECTURAL REVIEW BOARD FOR THE PROPOSED BUILDING DESIGN AND THE VILLAGE ENGINEER FOR THE PROPOSED SITE, GRADING AND EROSION CONTROL PLAN?

ISSUE SUMMARY:

Building Design Discussion

The Architectural Review Board (ARB) reviewed the latest iteration of plans for the Pleasant Hill Pub and Grill on June 17th. As you know, this is the site of the former Hairy Lemon located at the northeast intersection of Pleasant Hill Road and STH 164. The proposal was approved with the following motion:

Motion by Commissioner Jason Duehring to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10_008200Z), as designed; Seconded by Commissioner Bruce Gibb; Motion passed without objection.

Members of the Plan Commission are encouraged to visit to site the see the construction which has already started with the addition of the seating area and kitchen on the east side of the building. The proposal before you tonight, is a 3,040 sqft addition, building off 5,356 sqft that was previously approved by the Architectural Review Board and Plan Commission earlier in the year. The primary building materials, as labeled, are permissible materials pursuant to Section 70.133 of the Zoning Code. They are also consistent with the previously approved materials. These materials are noted on the drawings on Sheet A400 in the legend on the upper right-hand corner of the page. The windows are all the previously approved "Double Hung" windows from the previous drawings that were requested to be elongated (2.5'x5'). On the north side, the property owner is also proposing an HVAC enclosure that is constructed of Lap Siding and Cedar, which will be painted to match the exterior of the building.

On the East Elevation of the building you see two (2) entryways into the dining area. This was previously set to be on the northside of the building but has been reconfigured. The gable peaks are shown again with the LP Smartside Stagger Shake Siding. This east side will be the pavilion seating area, under the metal roof. This is to match the existing metal roof on the property which was replaced several years back. The primary building façade is a blend of LP Smartside and "Siding 2" which is a LP Smartside of a different color. This creates some visual intrigue for the server door and the two (2) entrances. The middle window which appears to be bisected by the post is approximately 16' from the window. The secondary presentation of the east elevation, the overhang is removed for the bidding contractor to see the "reveal".

On the west side of the building the property owner is proposing to mimic the east elevation with the interplay between LP Smartside Lap Siding and the two (2) different types of LP Smartside Stagger Shake Siding.

It is the opinion of Staff that this design iteration is more successful in the massing and proportion of the building. Additionally, Staff believes that this is the most complete set of drawings received to date and the architect and property owner should be commended for the efforts putting this design package together.

Site, Grading and Erosion Control

The Village Engineer has reviewed the proposed Site, Grading and Erosion Control Plan. His letter is attached herein dated July 22, 2020. He has recommended approval conditioned on several items being addressed. In response to the Village Engineer's letter, we received an email correspondence dated July 29, 2020 from the property owner's Project Manager, Mr. Rob Davy, and he has provided additional details requested by the Village Engineer. These are currently under review by Village Engineer Ron Dalton, but they have been included in your attachments for your review.

The subject property is proposed to have access off STH 164 and Pleasant Hill Road. The circular traffic pattern will allow for a safer and less congested flow in and out of the property for both food/beverage delivery and vehicular traffic. There is proposed to be two (2) enclosures on the property. The first, is for the screening of HVAC equipment on the north end of the building and the second on the northeast corner of the building for refuse. Each will be screened with cedar that will be painted to match the LP Smartside siding on the building.



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Pleasant Hill Pub and Grill – 2102 STH 164 (Tax Key: V10_008200Z)

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

Given the amount of impervious surface, the subject property will be required to have a stormwater management facility which will be constructed on the northeast part of the property. A drainage swale also will act as a water conveyance on the east side of the property. The subject property is proposed to have 93 parking stalls (including 4 ADA stalls). The square footage of the first-floor restaurant is 6,406. Taking the gross square footage of the building, including the second story, which has no connection to the restaurant, will not be occupied or utilized, the square footage equates to 8,396 and the parking still is compliant.

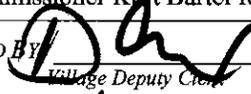
In terms of the building setback, the building currently does not comply with the setback requirements of the B-4, Highway Business District. This has been established and has been previously reviewed by the Plan Commission. The property owner is utilizing a segment of our Code which allows for the extension or expansion of legal, non-conforming structures so long as the degree of non-conformity does not worsen. In this instance, you can see the building expansion to the north is mere feet from State Highway 164 and the WisDOT right-of-way. However, it does not encroach on the previously established buildings setback. Pursuant to Ordinance O2016-10-01, notice will be mailed to property owners directly adjacent to the subject property. Since the existing building 1) is currently located within a side yard and street yard setback, 2) the building was legally established, 3) the use of the building is legal conforming, 4) the building addition is in compliance with the height limitations of the zoning district and is not greater in height than the contiguous portion of the existing building, and 5) does not create any additional non-conformities, the Plan Commission may hear this petition.

The Plan Commission in their deliberations should be considering the following:

- The size and location of the existing legal non-conforming building
- The size and location of any other buildings on the subject property
- The size and location of the proposed expansion
- The necessity of constructing the building addition within the setback
- The proximity of buildings and other structures on adjoining properties

As a part of this development, the property owner and Village Staff have spoken at length regarding placing parking restrictions on both the north and south side of Pleasant Hill Road for enhanced safety measures. Village Staff is currently in the process of reviewing the proposed Lighting Plan, just to include "wall pack" lights and awaiting a professionally drawn landscaping plan. The property owner was also supplied the list of appropriate landscaping materials prepared by Commissioner Kurt Bartel for his consideration.

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY 
Village Deputy Clerk

Forward to Village Board: No
Additional Approvals Needed: No
Signatures Required: No

ATTACHMENTS

1. SBOP Plans submitted by Foundation Architects LLC and Lake Country Engineering
2. Letter by Village Engineer Ron Dalton dated July 22, 2020
3. Email dated July 29, 2020 from Project Manager Rob Davy (and attachments)
4. Ordinance O2016-10-01, An Ordinance Amending Chapter 70 of the Village Code of Ordinances Relating to Legal, Non-Conforming Structures



VILLAGE OF RICHFIELD
 PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Pleasant Hill Pub and Grill – 2102 STH 164 (Tax Key: V10_008200Z)
 DATE SUBMITTED: July 29, 2020
 SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Building Design

Motion to approve the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10_008200Z), as designed.

Site, Grading and Erosion Control Plan

Motion to approve the proposed Site, Grading and Erosion Control Plan for Pleasant Hill Pub and Grill, located at 2102 STH 164 (Tax Key: V10_008200Z) subject to the following Specific Conditions of Approval:

- 1) The Plan Commission finds that the applicant has met the requirements of Ordinance O2016-10-01
- 2) The applicant addresses the concerns outlined by Village Engineer Ron Dalton in his letter dated July 29, 2020
- 3) The applicant pay all professional fees related to the development

APPROVED FOR SUBMITTAL BY:

Naufu Keller
 Village Staff Member

[Signature]
 Village Administrator

VILLAGE CLERK USE ONLY
 BOARD ACTION TAKEN

Resolution No. _____
 Ordinance No. _____
 Approved _____
 Other _____

Continued To: _____
 Referred To: _____
 Denied _____
 File No. _____

STATE OF WISCONSIN VILLAGE OF RICHFIELD WASHINGTON COUNTY
ORDINANCE 2016-10-01

**AN ORDINANCE AMENDING CHAPTER 70 OF THE VILLAGE CODE OF
ORDINANCES RELATING TO LEGAL, NON-CONFORMING STRUCTURES**

WHEREAS, the Village of Richfield recognizes that it has a number of properties within its municipal borders that are considered legal, non-conforming; and

WHEREAS, having this type of a status per the existing code, severely limits property owners' rights with respect to potential building expansions; and

WHEREAS, the Village's Plan Commission has worked for several months on developing an ordinance which allows the property owners to petition for expansions of the legal, non-conforming structures which shall be reviewed on a case-by-case basis; and

NOW, THEREFORE BE IT RESOLVED, the Village Board of the Village of Richfield, Washington County, Wisconsin, do ordain the following changes to Section 70.242(F) of the Village of Richfield municipal code entitled "Zoning" by repealing the section and recreating it as follows:

Section 1:

(F) Building addition(s) within setback/street-yard, side-yard, and/or rear-yard.

The Plan Commission may, pursuant to s. 70.161A, grant a special exception authorizing the construction of a building addition within a setback/street-yard, side-yard, and/or rear-yard area but no such building addition may be authorized in an existing or proposed street or highway provided:

- (1) property owners directly adjacent to the subject property are mailed notice of the hearing via USPO 1st Class Mail five days before the hearing at their last known address;
- (2) the existing building to which the addition will be attached is currently located within a setback/street-yard, side-yard, and/or rear-yard area;
- (3) the existing building was legally established;
- (4) the use of the existing building is legal conforming;
- (5) the building addition is in compliance with the height limitations of the zoning district in which it is located, and is not greater in height than the contiguous portion of the existing building;
- (6) the building addition does not extend closer to the lot line that is the lot line that is creating the non-conforming situation than the existing building [(i.e. the non-

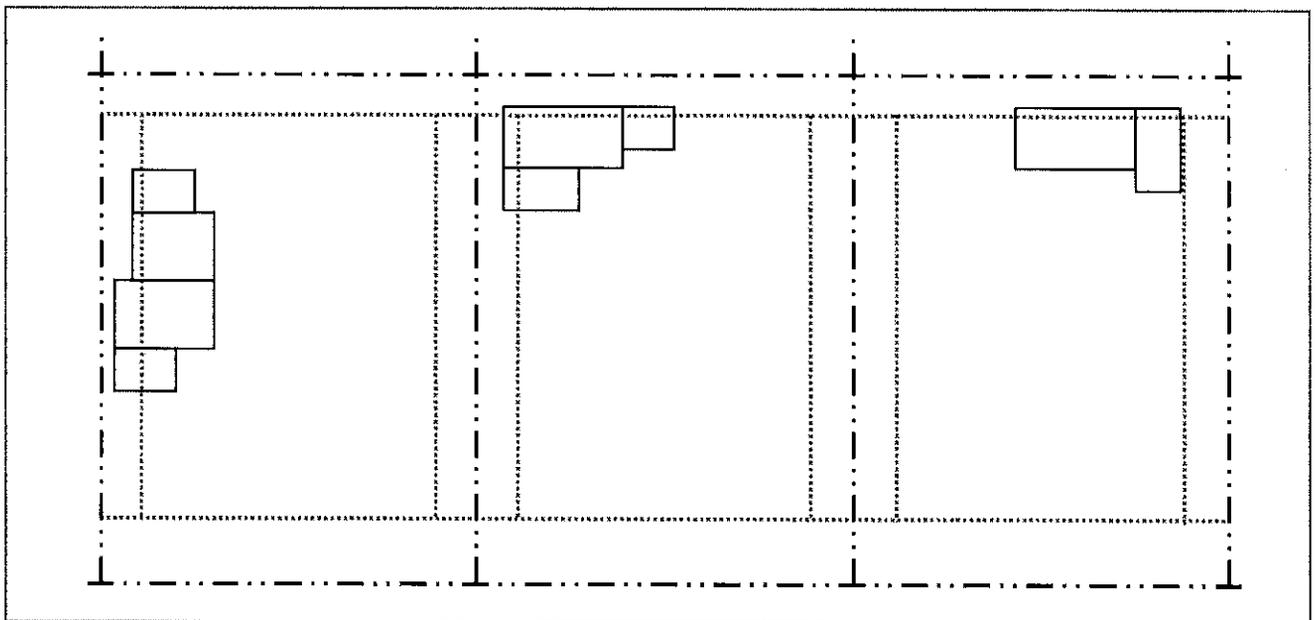
conforming aspect(s) of the building addition is/are not made worse by the proposed expansion];

- (7) the building addition does not extend into a setback/street-yard, side-yard, and/or rear-yard area the existing building does not currently encroach upon rendering the proposed building non-conforming in a manner it was not previously, prior to the proposed expansion; and
- (8) the building addition complies with all other requirements that may apply.

See Figure 1 for examples of permissible additions. In making its decision, the plan commission should consider the following factors, in addition to those factors listed in s. 70.161A:

- (1) The size and location of the existing legal nonconforming building.
- (2) The size and location of any other building(s) on the subject property.
- (3) The size and location of the proposed expansion.
- (4) The necessity of constructing the building addition within the setback/street-yard, side-yard, and/or rear-yard.
- (5) The proximity of buildings and other structures on adjoining properties.

Figure 1. Examples of permissible expansions within a setback/street-yard, side-yard, and/or rear-yard area



Section 2. Effective Date

This ordinance shall be in full force and effect from and after its passage and posting or publication as provided by law.

Passed and adopted this 20th day of October 2016.

John Jeffords, Village President

ATTEST:

Jim Healy, Administrator/Clerk/Treasurer

Jim Healy

From: Rob Davy <RobD@lce.biz>
Sent: Wednesday, July 29, 2020 11:25 AM
To: Jim Healy; Ron Dalton
Cc: john loosen
Subject: RE: Stormwater Maintenance Agreement - Sample
Attachments: 20-33351 PH VO RICH swmr rev 07-23-20 .pdf; 20-3351 Pleasant Hill Bar.pdf; 20-3351 PH VO RICH soil loss .pdf

Per the review letter from Cedar Corporation dated 7-22-20 I have attached the revised Stormwater Management report, the storm water maintenance agreement, and the soils loss calculations.

In the revised Stormwater Management report the 3 tax key numbers have been added and I account for TP reduction. Please note I can modify the tax Key numbers once the CSM gets recorded and there is only one number for the property.

Items 5 and 6 are to be completed after the project has been completed

Please call with questions

Thanks

Rob Davy

LAKE COUNTRY ENGINEERING
970 S. Silver Lake Street, Suite 105
Oconomowoc, WI 53066
(262) 569-9331 (off)
(262) 366-1633 (cell)

From: Jim Healy [mailto:administrator@richfieldwi.gov]
Sent: Wednesday, June 17, 2020 7:59 AM
To: Rob Davy <RobD@lce.biz>
Cc: john loosen <johnloosen@att.net>
Subject: Stormwater Maintenance Agreement - Sample

Rob,

Thanks for calling this morning. Here is an example of a Stormwater Maintenance Agreement that was recently approved.

Be well,

Jim Healy
Village Administrator
Planning and Zoning Administrator
(262)-628-2260

LAKE COUNTRY ENGINEERING, INC.

Rob Davy, P.E. Mark Powers, R.L.S.

SOIL LOSS & SEDIMENT DISCHARGE CALCULATION LCCW Car Wash City of Oconomowoc, Waukesha Co., WI

20-3351

Date July 28, 2020

This development will consist adding a 6,400 sf building and 38,000 sf of parking, drives and other impervious surface on a 1.42 acre parcel. This report consists of one modeled area in the Soil Loss and Sediment Discharge Calculation Worksheet for the construction of the road.

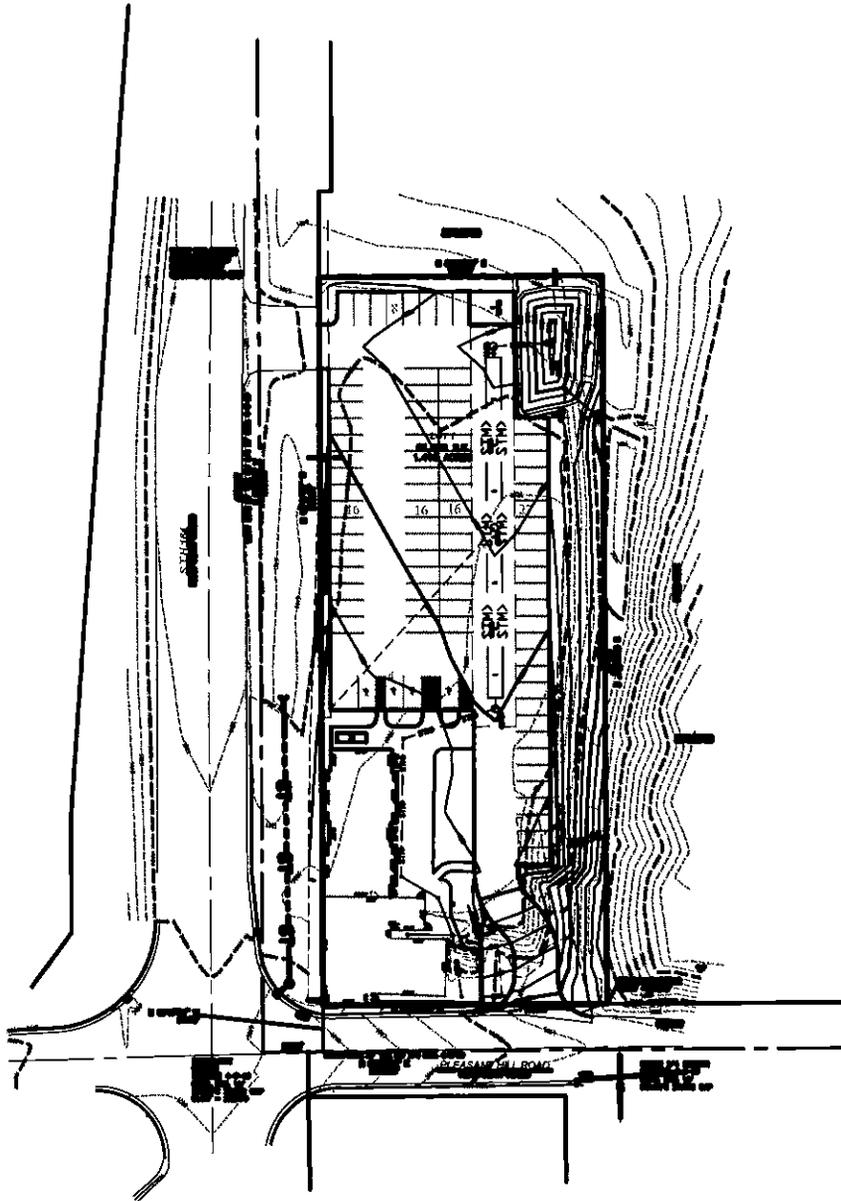
The modeled path was determined by the longest time frame and the longest flow path to be left in a disturbed state. The soil conditions show the bare ground (top 24") to be a sandy loam. The area modeled is 133 feet long and the slope is 2.0%. This portion of the site will be exposed from June 1, 2020 to September 15, 2020, when the stone base will be placed on the drives and the side slopes will be restored, and is considered restored. The remainder of the site will be 4:1 slopes to match back into grade and will be top soiled seeded and erosion matted, and are considered prescriptive restoration and are not calculated in the time frame for being left disturbed.

Taking account this path and the time it takes to get the site built and restored the calculator shows 7.6 tons / acre of sediment generated and only 2.3 tons / acre discharged, which is less than the 5.0 tons / ac. Maximum sediment discharge allowed.

By looking at this scenario for sediment loss this site meets or exceeds the rules for sediment loss.



SOIL LOSS MAP



SCALE : 1" = 100'

LONGEST FLOW PATH & DURATION
BEFORE RESTORATION

133 LF @ 2.0%



Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)

R 1

SANT HILL MANAGEMENT llc

SANT HILL BAR

Date: 07/28/20

County:

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
	06/01/20	06/30/20	Washington			0.28	3.0%	133	0.33	1.00	2.1	0.972		1.2
	06/30/20	09/15/20	48.3%	120	Sandy Loam	0.28	3.0%	133	0.33	1.00	5.4	0.972		1.0
	09/15/20	12/15/20	12.8%	120	Sandy Loam	0.28	3.0%	133	0.33	0.10	0.1	0.972		0.0
	12/15/20	---	---	---	---	---	3.0%	133	0.33	---	---	0.000		0.0
Bare Ground	---	---	---	---	---	---	3.0%	133	0.33	---	---	0.000		0.0
	---	---	---	---	---	---	0.0%	0	---	---	---	0.000		0.0
Bare Ground														
TOTAL											7.6		TOTAL	2.3
													% Reduction Required	NONE

Notes: Seed with Mulch or Er variables and items in drop-down boxes. Sheet must be 'End'. This is either 12 months from the start of construction or final stabilization. For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

End 4/15-6/1 and Thaw-6/30 and 8/1-8/21 Turf, introduced grasses and legumes Native Grasses, forbs, and legumes

Designed By: RJDAVY
Date: 7/28/2020

**Stormwater Management Practice
Maintenance Agreement**

WHEREAS, PLEASANT HILL MANAGEMENT LLC, (hereafter "developer") Developing a 1.416 acre parcel in the Village of Richfield (hereafter "development"), consisting of a 6,333 sq.ft building and 37,430 sq.ft. of other impervious surface; and

WHEREAS, PLEASANT HILL MANAGEMENT LLC , currently owns the development described as follows:

Lot 1 of C.S.M _____ in the Southwest ¼ of Section 4, Town 9 North, Range 19 East, Village of Richfield, Washington County, Wisconsin ; and

WHEREAS, the developer designed and installed various stormwater management practices in the development as required by the Village of Richfield; and

WHEREAS, the developer submitted as-built drawings for such stormwater management practices to the Village of Richfield; and

Return to:

Jim Healy, Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033

P.N. V10-008000A,
V10-008100Z, & V10-008200Z

WHEREAS, the village engineer for the Village of Richfield has determined that such stormwater management practices were installed but the design and construction of such facilities are the responsibility of the developer, and therefore neither the village engineer nor the village, nor any village officers or employees or agents warrant that they have been properly designed or will function as intended to properly manage stormwater within the development; and

WHEREAS, the Village of Richfield approved the C.S.M. for the development provided the developer establish an agreement, as approved by the Village of Richfield, for the perpetual management of stormwater within the development and the perpetual care and maintenance of the stormwater management practices as specified herein; and

NOW THEREFORE, in consideration of the declarations herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the developer listed herein hereby execute this agreement as a covenant and restriction upon the development.

- A. **Jurisdiction.** This agreement addresses the perpetual maintenance and care of stormwater practices in those portions of the subdivision identified in Exhibit C attached hereto and incorporated herein by reference. This agreement does not cover any stormwater management practices located within any street right-of-way dedicated to the public as part of the subdivision.

- B. **Responsibility.** The owner(s) of said lot are responsible for complying with the terms of the agreement.
- C. **Exhibits.** This agreement includes the following exhibits:
1. **Exhibit A:** Legal Description of the development.
 2. **Exhibit B:** Legal Description of the Stormwater management easement.
 3. **Exhibit C:** Location map(s) showing the general location of the stormwater management practice(s) covered by this agreement.
 4. **Exhibit D:** Maintenance plan describing those activities that must be carried out to maintain compliance with this agreement.
- D. **Inspections.** The owner(s) shall hire a qualified professional to periodically inspect the stormwater management practice and prepare a written report describing what work, if any, should be performed to comply with this agreement. Upon written notification by the Village of Richfield, the lot owners shall, at their cost and within a reasonable time period determined by the village administrator, conduct such an inspection. If the lot owners do not conduct an inspection as requested, the Village of Richfield is authorized to conduct an inspection at the lot owners' expense. The cost of the inspection undertaken by the Village pursuant to the foregoing shall be charged against the property, in accordance with the provisions of Section 66.0627 of the Wisconsin Statutes as amended from time to time. It is expressly understood and acknowledged that such costs shall be deemed a special charge for current services and may be levied in accordance with the provisions of Section 66.0627 of the Wisconsin Statutes as amended from time to time. Any such assessment that is not paid within 60 days after billing shall be deemed a delinquent special charge and shall become a lien upon the parcels against which such charge has been assessed. Such delinquent charges shall be extended upon the current or next tax roll as a delinquent tax against the parcels for which the payment has not been received by the village and all proceedings in relation to the collection, return and the sale of the property for delinquent real estate taxes shall apply to such special charge.
- E. **Maintenance.** The owner(s) shall perform all necessary work to maintain the stormwater management practices in accordance with the maintenance plan in Exhibit D, or as requested by the village administrator if he or she concludes that such work is necessary and consistent with the intent of this agreement. All such work shall be at the owner(s)' sole cost and expense. If the owner(s) fail to maintain the stormwater management measures as set forth in this agreement, the Village of Richfield shall have the right, but not the obligation, after providing the owner(s) with written notice of the maintenance issue and thirty (30) days to comply, to enter the Stormwater Management area of the development in order to conduct the maintenance specified in the written notice. If the Village of Richfield chooses to pursue such maintenance, in its discretion, the Village will conduct such work in accordance with all applicable laws, codes, regulations, and similar requirements and will not unreasonably interfere with owner(s) use of Stormwater management area. The cost of the work undertaken by the Village pursuant to the foregoing shall be charged against the property, in accordance with the provisions of Section 66.0627 of the Wisconsin Statutes as amended from time to time. It is expressly understood and acknowledged that such costs shall be deemed a special charge for current services and may be levied in accordance with the provisions of Section 66.0627 of the Wisconsin Statutes as amended from time to time. Any such assessment that is not paid within 60 days after billing shall be deemed a delinquent special charge and shall become a lien upon the parcels against which such charge has been assessed. Such delinquent charges shall be extended upon the current or next tax roll as a

delinquent tax against the parcels for which the payment has not been received by the village and all proceedings in relation to the collection, return and the sale of the property for delinquent real estate taxes shall apply to such special charge.

- F. **Emergency work authorized.** In the case of an emergency situation, as determined by the village administrator, if the Village chooses in its discretion to pursue remedies, no notice shall be required prior to the Village of Richfield performing all necessary work to address the emergency.
- G. **Reporting.** The lot owners shall notify the Village of Richfield in writing of any maintenance work performed pursuant to this agreement.
- H. **As-built drawings and specifications.** The Village of Richfield shall keep a copy of any as-built drawings and specifications submitted by the developer.
- I. **Notice requirements.** Any notice, request, or demand required or permitted under this agreement shall be in writing and shall be deemed given when personally served or three (3) days after the same has been deposited with the United States Post Office, registered or certified mail, return receipt requested, postage prepaid and addressed as follows:

If to the Village of Richfield: Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033

If to the lot owners: The address of record to mailing of the Washington
County Property Tax Bill

- J. **Covenants running with the land.** All of the easements, restrictions, covenants, and agreements set forth in this agreement are intended to be and shall be construed as covenants running with the land, binding upon, inuring to the benefit of, and enforceable by the parties hereto and their respective successors and assigns.
- K. **Term and termination.** The term of this agreement shall commence on the date that this agreement is filed with the Register of Deeds Office for Washington County, Wisconsin, and except as otherwise herein specifically provided, shall continue in perpetuity. Notwithstanding the foregoing, this agreement may be terminated by recording with the Register of Deeds Office for Washington County, Wisconsin, a written instrument of termination approved by the Village of Richfield Village Board and all of the then-owners of the subject property.
- L. **Amendment.** This agreement may be amended with the written approval of the Village of Richfield Village Board and all of the then lot owners.
- M. **Governing law.** This agreement shall be governed and construed in accordance with the laws of the State of Wisconsin.
- N. **Severability.** In the event a court of competent jurisdiction determines that a provision of this agreement, or portion thereof, is unlawful, illegal, or unconstitutional, said determination as to the particular provision, or portion thereof, shall not void the rest of the agreement and the remainder shall continue in full force and effect.

Acceptance by Village of Richfield

The Village Board of Village of Richfield has reviewed this agreement at their meeting on _____, 2019, and authorized the Village President to sign the same.

ATTEST:

John Jeffords, Village President

Jim Healy, Village Administrator

STATE OF WISCONSIN)
) SS
COUNTY OF WASHINGTON)

Personally came before me this ____ day of _____, 2019, the persons described above, John Jeffords, Village President of Village of Richfield, and Jim Healy, Village Administrator of Village of Richfield, to me known to be the persons who executed the foregoing instrument and to me known to be such Village President and Village Administrator of said municipal corporation and acknowledged that they executed the foregoing instrument as such officers of said municipal corporation by its authority and pursuant to the authorization by the Village Board from their meeting on the ____ day of _____, 2019.

NOTARY PUBLIC

My Commission Expires:

The remainder of this page intentionally left blank.

Exhibit A: Legal Description of the development:

Lot 1 of C.S.M _____ in the Southwest $\frac{1}{4}$ of Section 4, Town 9 North, Range 19 East, Village of Richfield, Washington County, Wisconsin

Exhibit B: Legal Description of the Stormwater management easement:

Being a Storm Water Management easement over and across a part of said Lot described in Exhibit A, located in that part of the Southwest ¼ of the Southwest ¼ of Section 4, Township 9 North, Range 19 East, Village of Richfield, Washington County, Wisconsin, more fully described as follows:

Commencing at the northeast corner of said lot and the point of beginning of the hereinafter described easement, thence S00°17'31"E, along the east lot line of said lot, 77.58 feet to a point; thence S89°42'29"W, 48.50 feet to a point; thence S00°17'31"E, 168.38 feet to a point; thence S89°42'29"W, 24.00 feet to a point; thence N00°17'31"W, 217.38 feet to a point; thence N89°42'29"E, 24.00 feet to a point; thence N00°33'02"W, 28.36 feet to a point on the north line of said lot; thence N89°26'58"E, 48.63 feet, along the north line of said lot to the place of beginning.

Stormwater Management Easement Restrictions:

Shaded area on map indicates a stormwater management easement for storm water collection, conveyance and treatment. No buildings or other structures are allowed in these areas. No grading or filling is allowed that may interrupt storm water flows in any way. Except for the construction of the of the stormwater BMP's. See Exhibit D for specific maintenance requirements for storm water management practices within this area.

Stormwater Management Easement Access:

Over and across the parking area shown in Exhibit B

EXHIBIT C - LOCATION MAP

STORM WATER MANAGEMENT PRACTICES COVERED BY THIS AGREEMENT

THE STORM WATER MANAGEMENT PRACTICES COVERED BY THIS AGREEMENT ARE DEPICTED IN THE REDUCED COPY OF THE CONSTRUCTION PLANS, AS SHOWN BELOW. THE PRACTICES INCLUDE AN INFILTRATION BASIN, AND AN UNDERGROUND INFILTRATION CHAMBER. ALL OF THE NOTED STORM WATER MANAGEMENT PRACTICES ARE LOCATED WITHIN A STORMWATER MANAGEMENT EASEMENT, DESCRIBED IN EXHIBIT B

SUBDIVISION NAME: C.S.M.

STORM WATER PRACTICES: INFILTRATION BASIN, AND AN UNDERGROUND INFILTRATION CHAMBER.

LOCATION OF PRACTICES: IN A STORMWATER MANAGEMENT EASEMENT

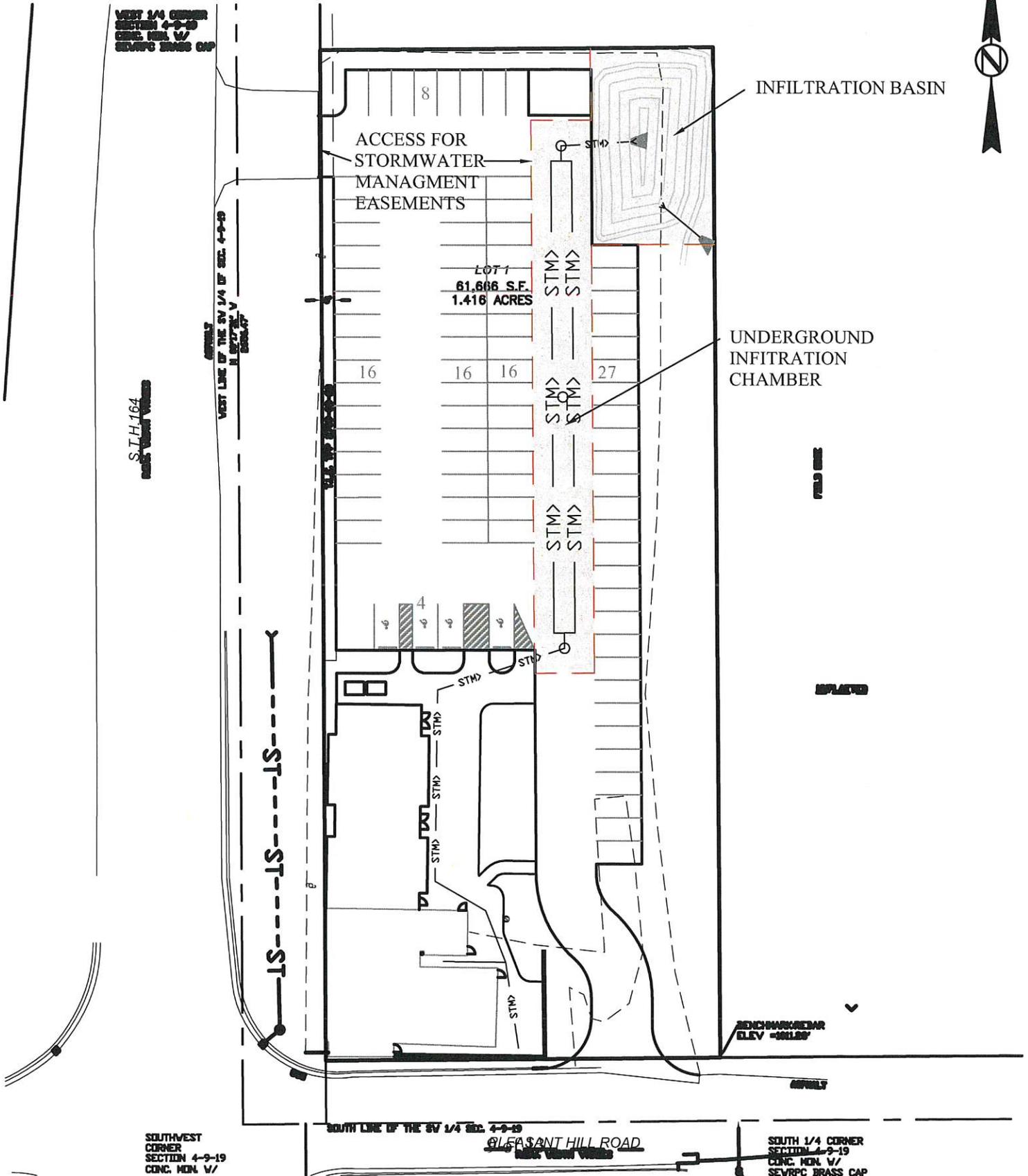


Exhibit D

Storm Water Management Maintenance Plan

This exhibit explains the basic function of each of the storm water practices listed in Exhibit C and prescribes the minimum maintenance requirements to remain compliant with this Agreement. The maintenance activities listed below are aimed to ensure these practices continue serving their intended functions in perpetuity. The list of activities is not all inclusive, but rather indicates the minimum type of maintenance that can be expected for this particular site. Access to the storm water practices for maintenance vehicles is shown in Exhibit C. Any failure of a storm water practice that is caused by a lack of maintenance will subject the Owner(s) to enforcement of the provisions listed on page 1 of this Agreement by the Village of Richfield.

System Description:

This system has 2 components, an underground infiltration chamber that drains to an infiltration BMP. This bmps is designed to reduce the Tss, TP, slow the flow of storm water leaving the site and infiltrate storm water back into the ground. "As-built" construction drawings of the basin, showing actual dimensions, elevations, outlet structures, etc. will be on file at the Village.

Minimum Maintenance Requirements:

To ensure the proper long-term function of the storm water management practices described above, the following activities must be completed:

General Maintenance requirements and restrictions:

1. Grass swales shall be preserved to allow free flow of surface runoff in accordance with approved grading plans.
2. No buildings or other structures are allowed in grass swale areas.
3. No grading or filling is allowed that may interrupt flows in any way.
4. Grass swales, inlets and outlets should be checked after heavy rains (minimum of annually) for signs of erosion. Any eroding areas must be repaired immediately to prevent premature sediment build-up in the downstream basin. Erosion matting is recommended for repairing grassed areas.
5. NO trees are to be planted or allowed to grow in bottom of grass swales.
6. Periodic mowing of the grass swales will encourage vigorous grass cover and allow better inspections for erosion. Waiting until after August 1 will avoid disturbing nesting wildlife.
7. Invasive plant and animal species shall be managed in compliance with Wisconsin Administrative Code Chapter NR 40. This may require eradication of invasive species in some cases.
8. Any other repair or maintenance needed to ensure the continued function of the storm water practices or as ordered by the Village of Richfield under the provisions listed on page 1 of this Agreement.

Infiltration Basin Maintenance

1. A minimum of 70% soil cover made up of native grasses must be maintained on the basin bottom to ensure infiltration rates. Periodic burning or mowing is recommended to enhance establishment of the prairie grasses (which may take 2-3 years) and maintain the minimum native cover. To reduce competition from cool season grasses (bluegrass, fescues, quack, etc.) and other weeds:
 - i. For the first year, cut to a 6" height three times – once each in June, July and early August. To prevent damage to the native grasses, do not mow below a 6" height. Remove excessive accumulation of clippings to avoid smothering next year's seedlings.
 - ii. After the first year, mowing may only be needed in early June each year to help control the spread of cool season plants. The mowing should also be raised to 10-12" to avoid damage to the warm season plants.

- iii. Burning may also be used to manage weeds in 2-5 years intervals. Late spring burns (mid-late May) provide maximum stimulus to warm season grasses and work well to control cool season grasses. Burn when the cool season grasses are growing and the warm season plants are just barely starting to grow to get maximum control of cool season species.
 - iv. Any major bare areas or areas taken over by nonnative species must be reseeded. To clear area of weeds and cool season grasses, treat with an herbicide that contains glyphosphate in accordance with manufacturer's instructions. Ensure a firm seedbed is prepared to a depth of 3 inches (a roller is recommended). Seeding should occur in early-mid June. Seed with Big Bluestem, Indian Grass, Little Blue Stem or Switchgrass (preferably an equal mix of all four types). A companion crop of oats is recommended. Seed must be placed at a depth of 1/4 – 1/2" and a minimum rate of 1/4 pound per 100 square feet. If broadcast seeding by hand, drag leaf rake over soil surface after seeding. Then roll it again and cover with a light layer of mulch and staked erosion control netting to hold it in place until germination. For other planting details, see NRCS standard 342 (Critical Area Planting).
2. The basin and all components (grass swales, forebay, inlets, outlets, etc.) should be inspected after each heavy rain, but at a minimum of once per year. If the basin is not draining properly (within 72 hours), further inspection may be required by persons with expertise in storm water management and/or soils.
 - i. If soil testing shows that the soil surface has become crusted, sealed or compacted, some deep tillage should be performed. Deep tillage will cut through the underlying soils at a 2-3 foot depth, loosening the soil and improving infiltration rates, with minimal disturbance of the surface vegetation. Types of tillage equipment that can be used include a subsoiler or straight, narrow-shanked chisel plow.
 - ii. If sedimentation is determined to be causing the failure, the accumulated sediment must be removed and the area reseeded in accordance with the notes above.
 - iii. If the washed stone trench has become clogged, the stone – and possibly the soil immediately around the stone - must be replaced.
 3. All outlet pipes, stone trenches and other flow control devices must be kept free of debris. Any blockage must be removed immediately.
 4. Any eroding areas must be repaired immediately to prevent premature sediment build-up in the system. Erosion matting is recommended for repairing grassed areas.
 5. Heavy equipment and vehicles must be kept off of the bottom and side slopes of infiltration basins to prevent soil compaction. Soil compaction will reduce infiltration rates and may cause failure of the basin, resulting in ponding and possible growth of wetland plants.
 6. No trees are to be planted or allowed to grow on the earthen berms or the bottom of the basin. On the berms, tree root systems can reduce soil compaction and cause berm failure. On the basin bottom, trees may shade out the native grasses. The basin must be inspected annually and any woody vegetation removed.

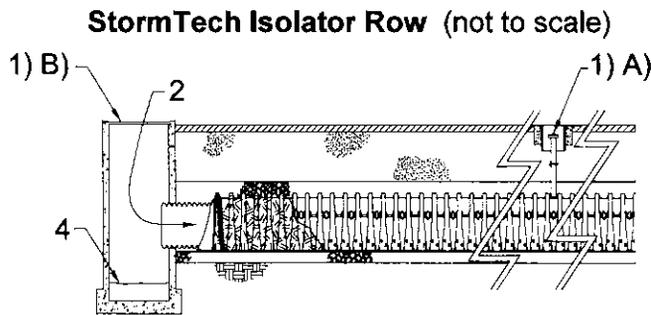
Inlet and outlet structures.

1. These types of structures shall be inspected for obstructions that may reduce their hydraulic capacity. Structure openings should immediately be cleared of any accumulated debris. Debris should be properly disposed of. Evidence of structural or foundation material failure should be repaired immediately.

2. All inlet sumps shall be inspected at least twice annually, once after completion of snowmelt (late April through May) and once in the Fall (October or November) before snow fall. If any sump is determined to have accumulated more than 18-inches of sediment (less than 6 inches of depth below the invert of the outlet pipe) then all sumps shall be cleaned. Cleaning should be accomplished by vactoring and all removed water and sediment shall be disposed of in a manner that does not release water or sediment removed from the sumps to a surface water body.
- The storm sewer pipes, inlets and outlets of the BMP's have been constructed utilizing concrete manholes and HDPE pipe. The estimate life of these structures is 50 to 75 years. Annual inspection of the structures will disclose any potential structural problems. If structural problems appear, repair or replace structure or pipe.

Infiltration Chambers

- a. **Isolator Row** (an infiltration chamber designed to infiltrate the “first flush” can be easily cleaned if clogged.)



On an annual basis

Step 1) Inspect Isolator Row for sediment

- A. Inspection ports (if present)
 - I. Remove lid from floor box frame
 - II. Remove cap from inspection riser
 - III. Using a flashlight and stadia rod, measure depth of sediment and record results on maintenance log
 - IV. If sediment is at, or above, 3 inch depth proceed to Step 2, if not proceed to Step 3
- B. All Isolator Rows
 - I. Remove cover from manhole at upstream end of Isolator Row
 - II. Using a flashlight, inspect down Isolator Row through outlet pipe
 - a. Mirrors on poles or cameras may be used to avoid a confined space entry
 - b. Follow OSHA regulations for confined space entry if entering manhole
 - III. If sediment is at or above the lower row of sidewall holes (approximately 3 inches) proceed to Step 2. If not proceed to Step 3.

Step 2) Clean out Isolator Row using a jetting process

- A. A fixed culvert cleaning nozzle with rear facing nozzle spread of 45 inches or more is preferable
- B. Apply multiple passes of jetting until back flush water is clean
- C. Vacuum manhole sump as required

Step 3) Replace all caps, lids and covers, record observations and actions

Step 4) Inspect & clean basins and manholes upstream of the infiltration chamber system

1. Additional Notes

- 1. Inspect every 6 months during the first year of operation. Adjust the inspection interval based on previous observations of sediment accumulation and high water elevations.
- 2. Conduct jetting only when inspection show that maintenance is necessary

Sample Maintenance Log

DATE	Stadia rod readings		Sediment Depth (1) - (2)	Observations/Actions	Inspector
	Fixed point to chamber bottom (1)	Fixed point to top of sediment (2)			
3/15/01	6.3 ft	none		New installation. Fixed point is Cl frame at grade	djm
9/24/01		6.2	0.1 ft	Some grit felt	sm
6/20/03		5.8	0.5 ft	Mucky feel, debris visible in manhole and in isolator row, maintenance due	rv
7/7/03	6.3		0	System jetted and vacuumed	djm

B Remaining Chambers

- 1. If become clogged and basin does not drain properly remove chambers and plugged ground, and replace chambers. (Chambers to be inspected yearly and prior to repaving of parking lot).

INSPECTION AND MAINTENANCE

All components of the stormwater system shall be inspected at least semiannually in early spring and early autumn. Repairs will be made whenever the performance of a stormwater control structure is compromised. Particular attention shall be made to the condition of the outlet structures: clearing debris from the outlet holes and a visual check of the condition of the pond berm and side slopes in regard to stability

LAKE COUNTRY ENGINEERING, INC.

Rob Davy, P.E.

Pleasant Hill Management LLC
Storm Water Management Report
Village of Richfield, Washington Co., WI
P# V10-008000A, V10-008100Z, & V10-008200Z

June 17, 2020
Rev 07-23-20
Project No. 20-3335

The development of this property is to build a new, and remodel a total of 6,333 sq.ft. buildings and add 37,430 sq.ft of patio's drives and parking on 61,666 sq.ft. (1.416 ac.) parcel.

The objectives of this report are to show the proposed storm water BMP's will meet the following:

- Show the flow rates leaving the site under proposed conditions will not exceed the flow rates leaving the site under existing conditions.
- Will infiltrate 10% of a 2-year storm event
- Reduce the Tss by 80% on an average annual basis.
- Reduce the TP by 36% on an average annual basis.

The parameters used to evaluate this area are

- The soils are hydrologic group B with most of the site comprising of Ce and Fs soils
- Cn of 61 (grass in good condition), 69 (cropland) and 98 (impervious surface)
- Rainfall depth for the different NOAA Atlas 14 24-hr storm events are 1-yr 2.35, 2-yr 2.65", 10-yr 3.82", and 100-yr 6.41" of rain
- Infiltration rate of 3.6 in/hr
- Storm distributions are MSE3
- Hydrology Calculated using Hydraflow TR-55 modeling
- Tss removal is calculated using WinSLAMM v.10.4.1
- Proposed Tc = 9 min. (this is the minimum time allowed by my program and is generally used for storm sewer design as a starting point and when a sites overland flow path is on impervious surface).
-

This property has 1- existing 1.41 acre watershed flowing draining to a farm field on the east side of the property. The proposed conditions show this drainage area being broken up into 2 areas, where the first (1.11 ac.) routed through the StormTech chamber and then into an infiltration bmp, and then added to a 0.31 acre areas directly flowinging to the farm field. The existing flows leaving the site, and proposed flows in and out of the storm water bmp's and the total proposed flow leaving the site are as follows.

Storm event	1-year	2-year	10-year	100- year
Existing	0.45 CFS	0.67 CFS	1.75 CFS	4.67 CFS
Into BMP	2.76 CFS.	3.21 CFS.	4.95 CFS.	8.75 CFS.
Out of BMP	0.00 CFS.	0.00 CFS.	0.56 CFS	3.58 CFS
Pr Flow	0.10 CFS	0.17 CFS	0.64 CFS	3.99 CFS

The total volumes of storm water leaving the site are as follows

Storm event	1-year	2-year	10-year	100- year
Existing	2,005 CF	2,735 CF	6,196 CF	15,885 CF
Proposed	310 CF	440 CF	3,482 CF	12,752 CF

This site produces 7,360 CF of storm water in a 2-year storm event, and by routing the most of the storm water through an infiltration StormTech chamber and into a infiltration BMP the site only releases 440 CF of storm water so 6,920 CF of storm water get infiltrated in a 2-year storm event or 94%

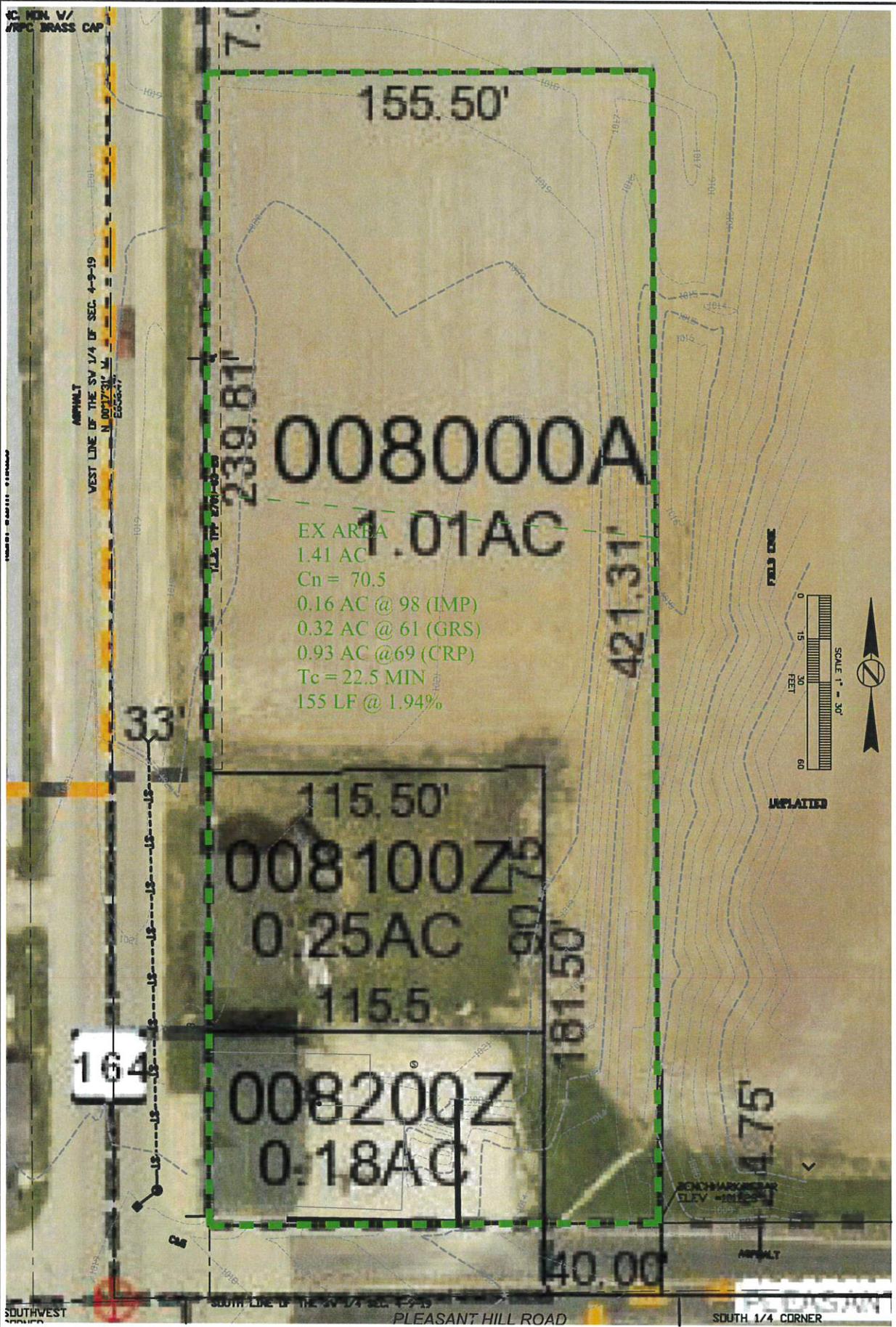
By routing the most of the storm water through the StormTech chambers and then into the an infiltrations bmp the Tss portion will be met. The site produces 617.7 lbs of Tss annually and it releases 123.1 Tss annually. So $617.7 - 123.1 = 494.6 / 933.2 = 80.1\%$ Tss removal.

This site generates 1.829 lbs of Total Phosphorus on an average annual basis and only releases 0.475 lbs of Total Phosphorus on an average annual basis, so 1.354 lbs of Total Phosphorus are removed on an average annual or 74.1%

Robert J Davy, P.E.



IC MON. V/
 7/PC BRASS CAP



008000A

1.01AC
 EX AREA
 1.41 AC
 Cn = 70.5
 0.16 AC @ 98 (IMP)
 0.32 AC @ 61 (GRS)
 0.93 AC @ 69 (CRP)
 Tc = 22.5 MIN
 155 LF @ 1.94%

008100Z
0.25AC

008200Z
0.18AC

SOUTH LINE OF THE SW 1/4 SEC. 4-9-19 PLEASANT HILL ROAD SOUTH 1/4 CORNER

SHEET #	PROJ #	EXISTING DRAINAGE PLAN
20-3351		STH '164' & PLEASANT HILL RD.
		PLEASANT HILL MANAGEMENT LLC
		S4, T9N, R19E, VO RICHFIELD WASHINGTON CO. WI

LAKE COUNTRY ENGINEERING, INC.
 Consulting Engineers - Surveyors
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
 Phone (262) 569-9331 Fax (262) 569-9316

DATE	REVISION DATE	REMARKS
DATE: June 11, 2020		

C. MIN. V/
RPC BRASS CAP

ASPHALT
WEST LINE OF THE SW 1/4 OF SEC. 4-9-19
N 00°17'31" W
E 66°06'47"

PROPOSED 16" ASPHALT DRAINAGE

SOUTHWEST CORNER

SOUTH LINE OF THE SW 1/4 SEC. 4-9-19
PLEASANT HILL ROAD

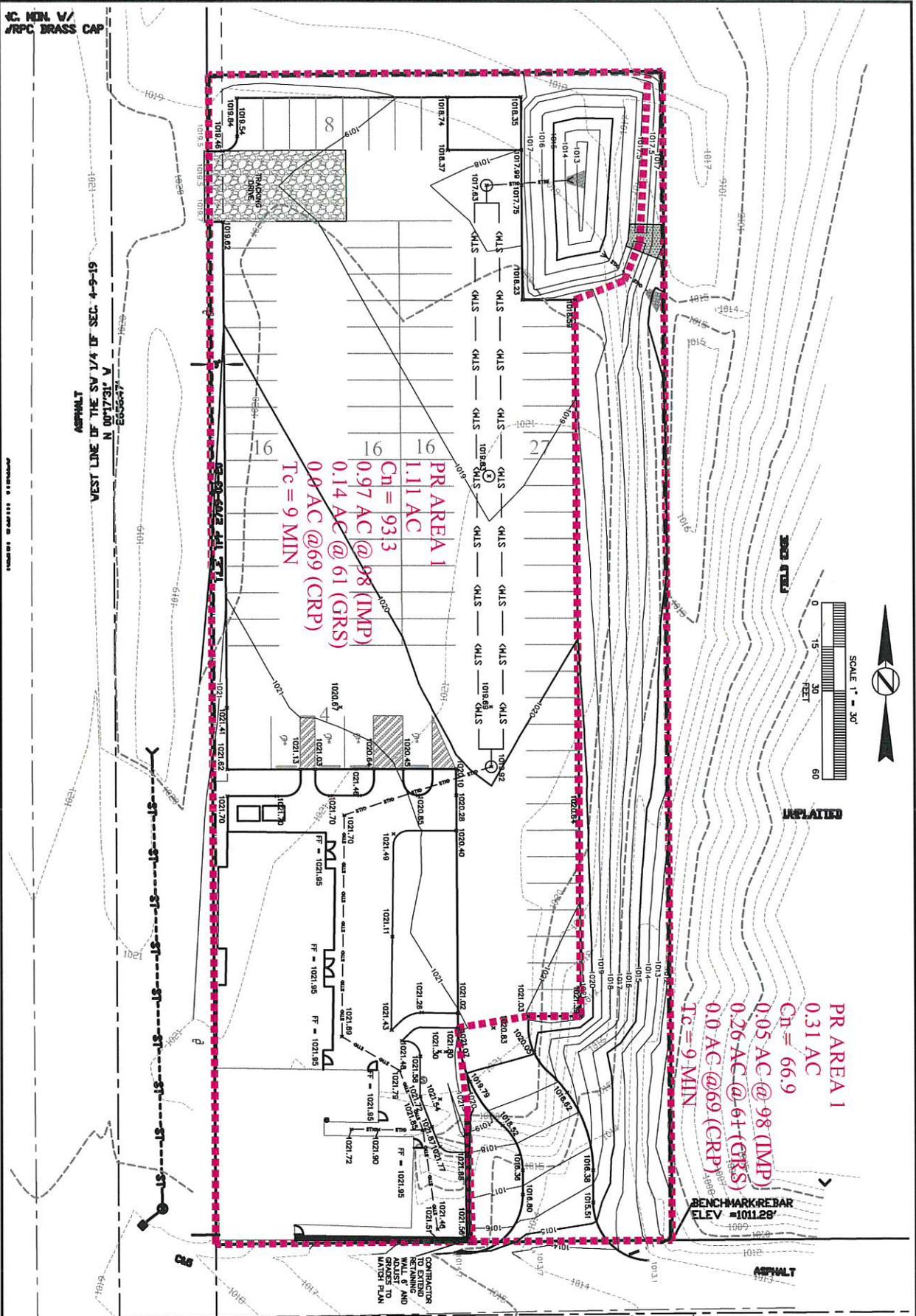
SOUTH 1/4 CORNER

PROPOSED DRAINAGE PLAN
S14 "164" & PLEASANT HILL RD.
PLEASANT HILL MANAGEMENT LLC
S4, T9N, R19E, V0 RICHFIELD WASHINGTON CO. WI

LAKE COUNTRY ENGINEERING, INC.
Consulting Engineers - Surveyors
970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
Phone (262) 568-3371 Fax (262) 568-3316

DESIGNED BY
CHECKED BY
DATE: Aug 11, 2022

REVISION DATE	REMARKS



Hydrograph Return Period Recap

Hyd. No.	Hydrograph type (origin)	Inflow Hyd(s)	Peak Outflow (cfs)								Hydrograph description
			1-Yr	2-Yr	3-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	SCS Runoff	----	0.45	0.67	----	----	1.75	----	----	4.67	EX
2	SCS Runoff	----	2.76	3.21	----	----	4.95	----	----	8.75	PR 1
3	Reservoir	2	0.25	0.43	----	----	2.28	----	----	8.04	FLOW TO INFIT BMP
4	Diversion1	3	0.13	0.13	----	----	0.13	----	----	0.13	INFITRATION
5	Diversion2	3	0.13	0.31	----	----	2.17	----	----	7.98	OVERLAND
6	Reservoir	5	0.04	0.07	----	----	0.68	----	----	3.75	PR FLOW TO EAST
7	Diversion1	6	0.04	0.07	----	----	0.12	----	----	0.17	INFITRATION
8	Diversion2	6	0.00	0.00	----	----	0.56	----	----	3.58	OVERLAND
9	SCS Runoff	----	0.10	0.17	----	----	0.49	----	----	1.38	PR 2
10	Combine	8, 9	0.10	0.17	----	----	0.64	----	----	3.99	TOTAL FLOW OFF SITE

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Maximum storage (cuft)	Hydrograph description	
1	SCS Runoff	0.45	3	747	2,005	---	---	---	EX	
2	SCS Runoff	2.76	3	732	6,288	---	---	---	PR 1	
3	Reservoir	0.25	3	777	6,282	2	1013.30	3,564	FLOW TO INFIT BMP	
4	Diversion1	0.13	3	720	5,706	3	---	---	INFITRATION	
5	Diversion2	0.13	3	777	576	3	---	---	OVERLAND	
6	Reservoir	0.04	3	840	569	5	1014.22	376	PR FLOW TO EAST	
7	Diversion1	0.04	3	840	569	6	---	---	INFITRATION	
8	Diversion2	0.00	3	804	0	6	---	---	OVERLAND	
9	SCS Runoff	0.10	3	735	310	---	---	---	PR 2	
10	Combine	0.10	3	735	310	8, 9	---	---	TOTAL FLOW OFF SITE	
20-3351 PH VO RICH STM.gpw					Return Period: 1 Year			Tuesday, Jun 16 2020, 3:02 PM		

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Maximum storage (cuft)	Hydrograph description	
1	SCS Runoff	0.67	3	744	2,735	---	---	---	EX	
2	SCS Runoff	3.21	3	732	7,360	---	---	---	PR 1	
3	Reservoir	0.43	3	759	7,354	2	1013.58	3,959	FLOW TO INFIT BMP	
4	Diversion1	0.13	3	1335	5,988	3	---	---	INFITRATION	
5	Diversion2	0.31	3	759	1,365	3	---	---	OVERLAND	
6	Reservoir	0.07	3	840	1,358	5	1015.06	932	PR FLOW TO EAST	
7	Diversion1	0.07	3	840	1,358	6	---	---	INFITRATION	
8	Diversion2	0.00	3	813	0	6	---	---	OVERLAND	
9	SCS Runoff	0.17	3	735	440	---	---	---	PR 2	
10	Combine	0.17	3	735	440	8, 9	---	---	TOTAL FLOW OFF SITE	
20-3351 PH VO RICH STM.gpw					Return Period: 2 Year			Tuesday, Jun 16 2020, 3:03 PM		

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Maximum storage (cuft)	Hydrograph description	
1	SCS Runoff	1.75	3	744	6,196	---	---	---	EX	
2	SCS Runoff	4.95	3	732	11,619	---	---	---	PR 1	
3	Reservoir	2.28	3	741	11,613	2	1014.38	5,058	FLOW TO INFIT BMP	
4	Diversion1	0.13	3	1419	6,927	3	---	---	INFITRATION	
5	Diversion2	2.17	3	741	4,686	3	---	---	OVERLAND	
6	Reservoir	0.68	3	762	4,679	5	1016.07	2,121	PR FLOW TO EAST	
7	Diversion1	0.12	3	762	2,283	6	---	---	INFITRATION	
8	Diversion2	0.56	3	762	2,395	6	---	---	OVERLAND	
9	SCS Runoff	0.49	3	735	1,087	---	---	---	PR 2	
10	Combine	0.64	3	759	3,482	8, 9	---	---	TOTAL FLOW OFF SITE	
20-3351 PH VO RICH STM.gpw					Return Period: 10 Year			Tuesday, Jun 16 2020, 3:03 PM		

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Maximum storage (cuft)	Hydrograph description	
1	SCS Runoff	4.67	3	744	15,885	—	—	—	EX	
2	SCS Runoff	8.75	3	732	21,238	—	—	—	PR 1	
3	Reservoir	8.04	3	738	21,232	2	1016.55	7,183	FLOW TO INFIT BMP	
4	Diverslon1	0.13	3	642	8,562	3	—	—	INFITRATION	
5	Diverslon2	7.98	3	738	12,670	3	—	—	OVERLAND	
6	Reservoir	3.75	3	747	12,663	5	1016.91	3,604	PR FLOW TO EAST	
7	Diversion1	0.17	3	747	2,901	6	—	—	INFITRATION	
8	Diverslon2	3.58	3	747	9,762	6	—	—	OVERLAND	
9	SCS Runoff	1.38	3	735	2,990	—	—	—	PR 2	
10	Comblne	3.99	3	747	12,752	8, 9	—	—	TOTAL FLOW OFF SITE	
20-3351 PH VO RICH STM.gpw					Return Period: 100 Year			Tuesday, Jun 16 2020, 3:03 PM		

Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

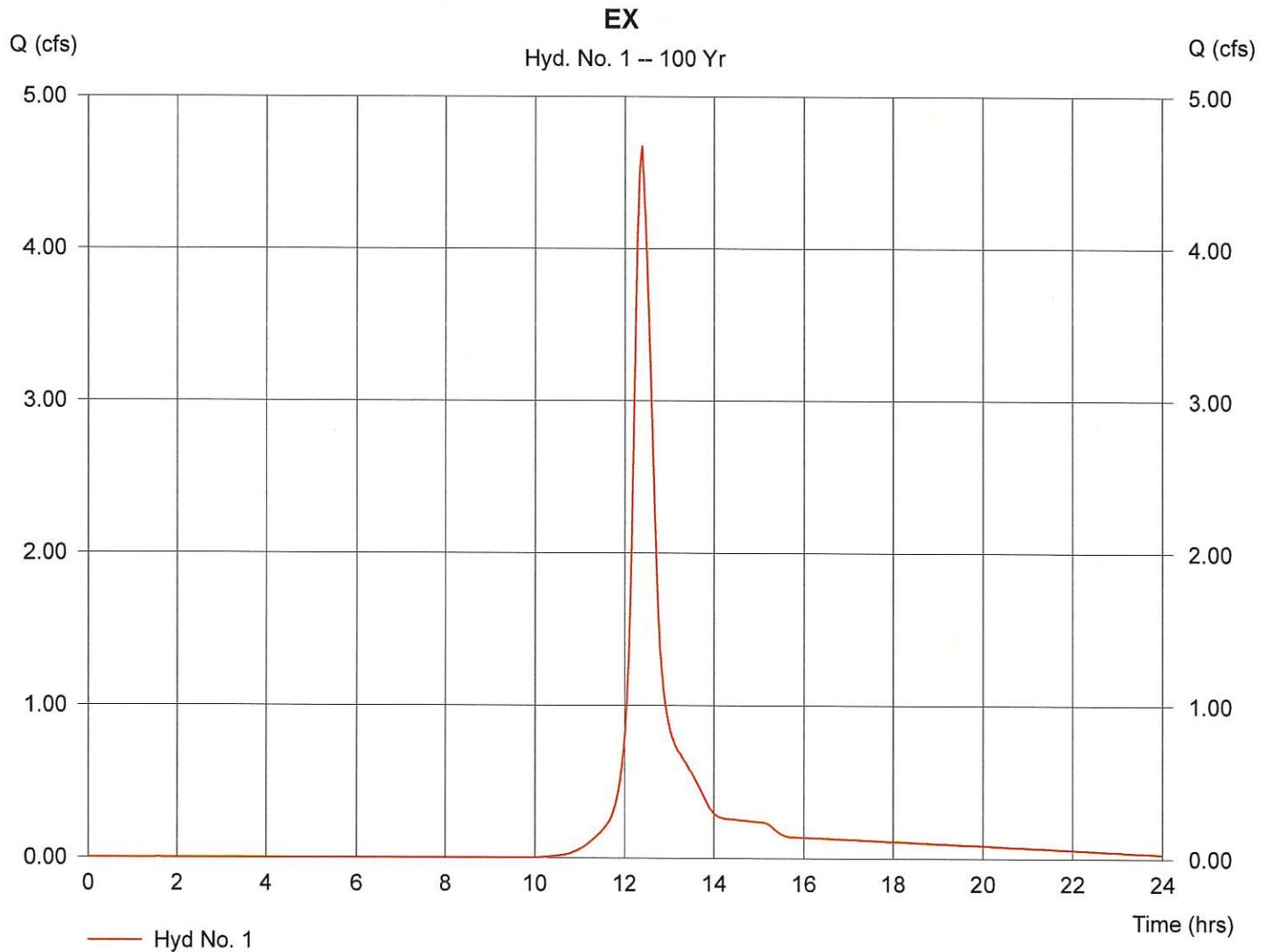
Tuesday, Jun 16 2020, 3:4 PM

Hyd. No. 1

EX

Hydrograph type	= SCS Runoff	Peak discharge	= 4.67 cfs
Storm frequency	= 100 yrs	Time interval	= 3 min
Drainage area	= 1.41 ac	Curve number	= 70.5
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 22.5 min
Total precip.	= 6.41 in	Distribution	= Custom
Storm duration	= MSE3 distribution 3 min .cfs	Shape factor	= 484

Hydrograph Volume = 15,885 cuft



TR55 Tc Worksheet

Hyd. No. 1

EX

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 155.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 2.65	0.00	0.00	
Land slope (%)	= 1.94	0.00	0.00	
Travel Time (min)	= 22.54	+ 0.00	+ 0.00	= 22.54
Shallow Concentrated Flow				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	= 0.00	0.00	0.00	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	= 0.00	0.00	0.00	
Flow length (ft)	= 0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				22.50 min

Precipitation Report

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

Hyd. No. 1

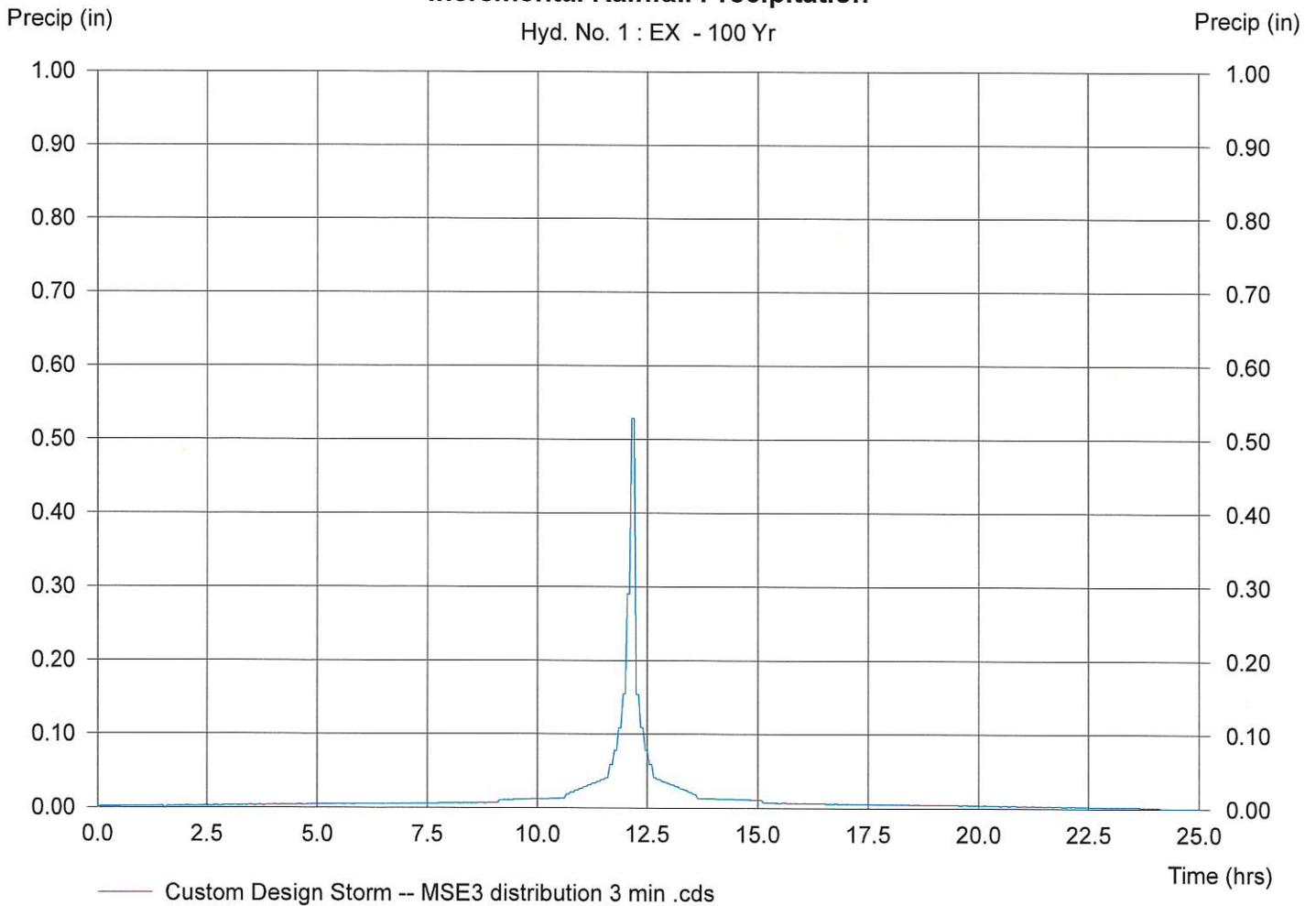
EX

Storm Frequency = 100 yrs
Total precip. = 6.41 in
Storm duration = MSE3 distribution 3 min .cds

Time interval = 3 min
Distribution = Custom

Incremental Rainfall Precipitation

Hyd. No. 1 : EX - 100 Yr



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

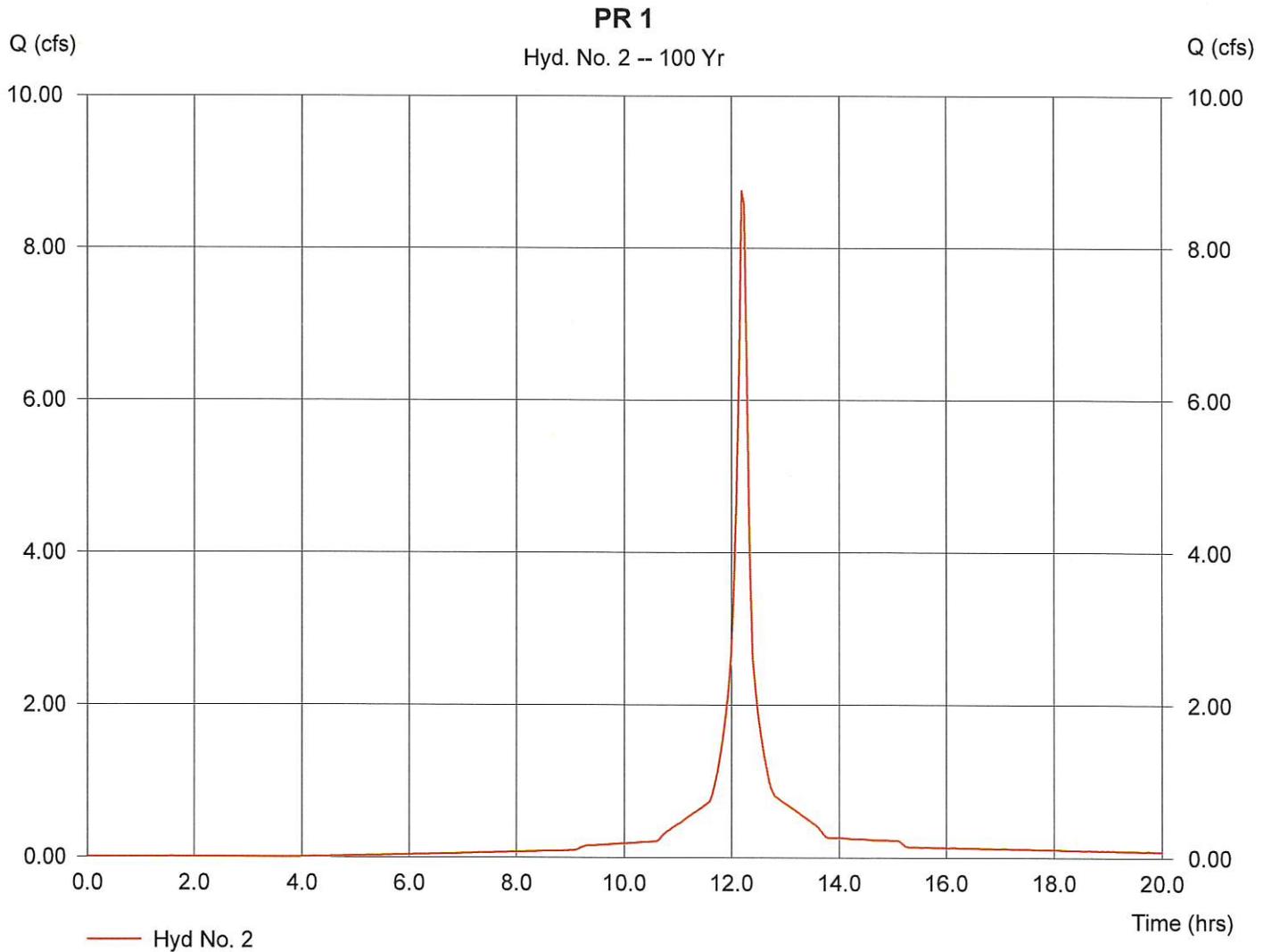
Tuesday, Jun 16 2020, 3:4 PM

Hyd. No. 2

PR 1

Hydrograph type	= SCS Runoff	Peak discharge	= 8.75 cfs
Storm frequency	= 100 yrs	Time interval	= 3 min
Drainage area	= 1.11 ac	Curve number	= 93.3
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 9 min
Total precip.	= 6.41 in	Distribution	= Custom
Storm duration	= MSE3 distribution 3 min .cfs	Shape factor	= 484

Hydrograph Volume = 21,238 cuft



Precipitation Report

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

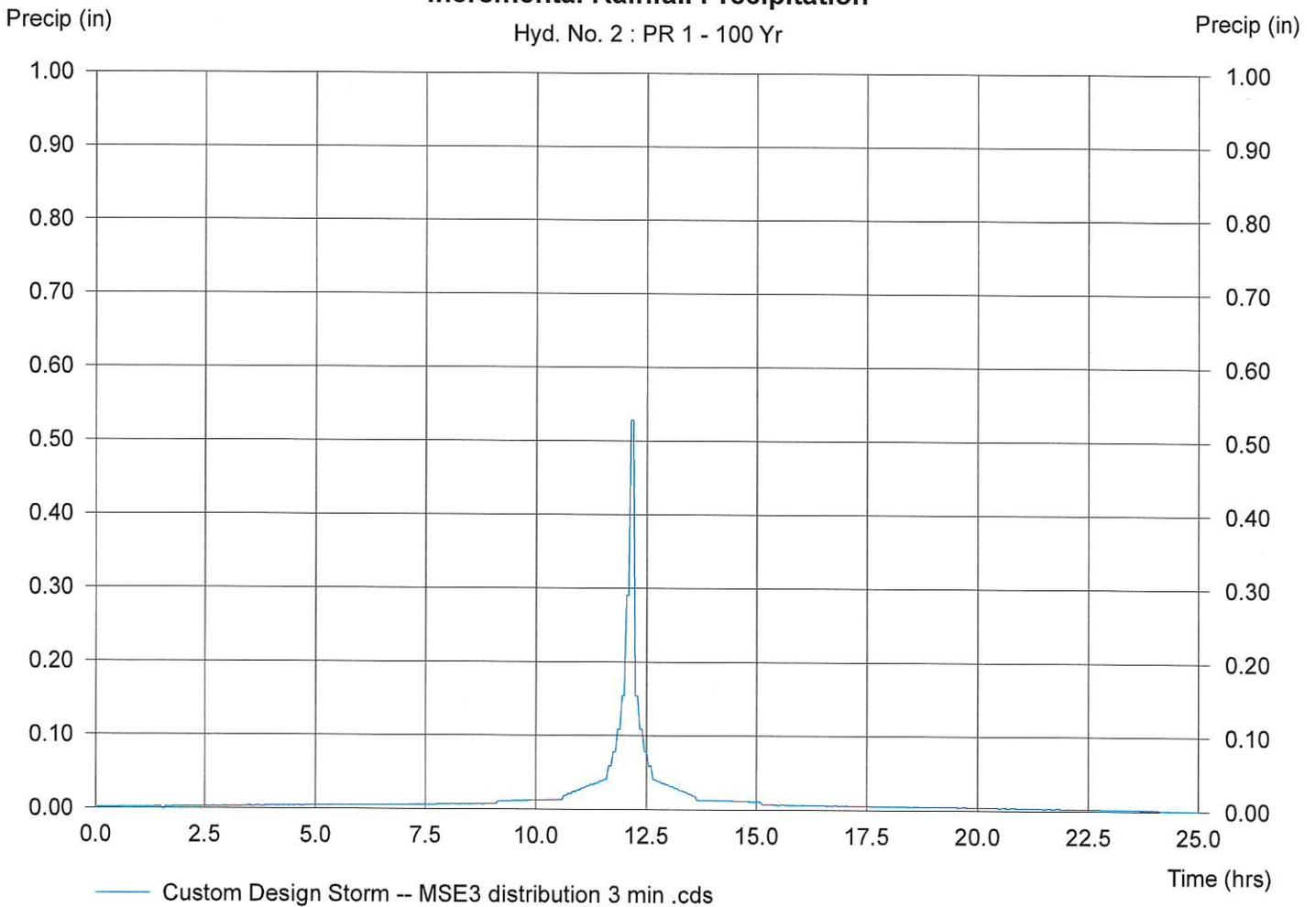
Hyd. No. 2

PR 1

Storm Frequency	= 100 yrs	Time interval	= 3 min
Total precip.	= 6.41 in	Distribution	= Custom
Storm duration	= MSE3 distribution 3 min .cgs		

Incremental Rainfall Precipitation

Hyd. No. 2 : PR 1 - 100 Yr



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

Hyd. No. 3

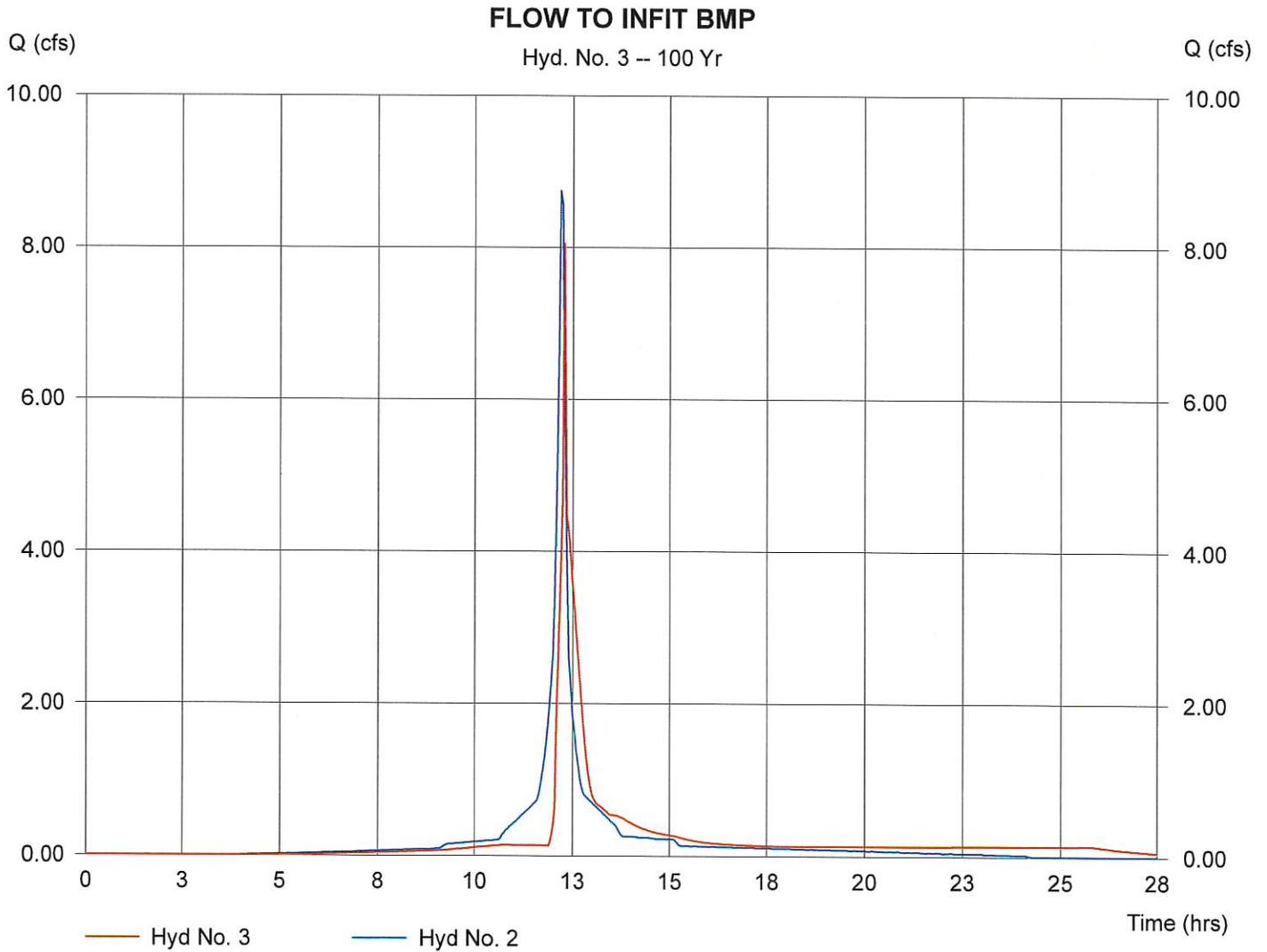
FLOW TO INFIT BMP

Hydrograph type = Reservoir
 Storm frequency = 100 yrs
 Inflow hyd. No. = 2
 Reservoir name = STT 4500

Peak discharge = 8.04 cfs
 Time interval = 3 min
 Max. Elevation = 1016.55 ft
 Max. Storage = 7,183 cuft

Storage Indication method used.

Hydrograph Volume = 21,232 cuft



Pond Report

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

Pond No. 2 - STT 4500

Pond Data

Pond storage is based on known contour areas. Average end area method used.

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	1011.00	1,593	0	0
0.50	1011.50	1,583	794	794
1.00	1012.00	1,565	787	1,581
1.50	1012.50	1,541	777	2,358
2.00	1013.00	1,500	760	3,118
2.50	1013.50	1,444	736	3,854
3.00	1014.00	1,377	705	4,559
3.50	1014.50	1,287	666	5,225
4.00	1015.00	1,170	614	5,839
4.50	1015.50	983	538	6,378
5.00	1016.00	704	422	6,799
5.50	1016.50	704	352	7,151
6.00	1017.00	704	352	7,503

Culvert / Orifice Structures

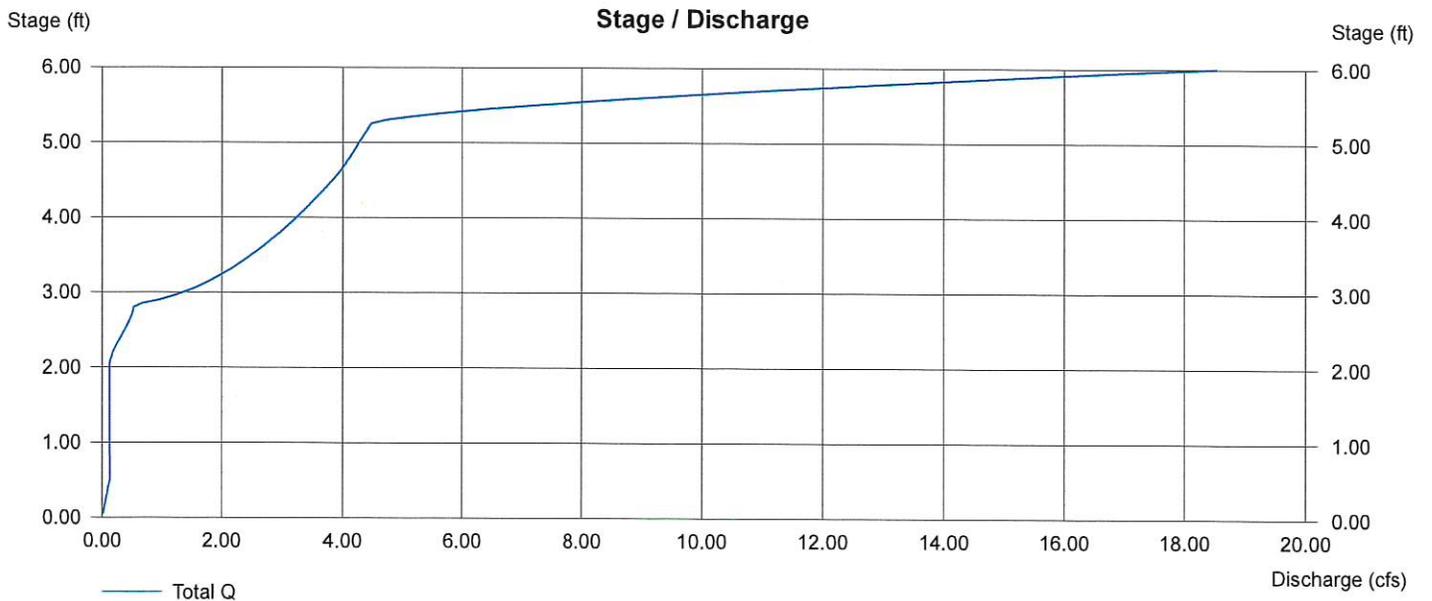
	[A]	[B]	[C]	[D]
Rise (in)	= 10.00	0.00	0.00	0.00
Span (in)	= 10.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 1013.00	0.00	0.00	0.00
Length (ft)	= 20.00	0.00	0.00	0.00
Slope (%)	= 0.10	0.00	0.00	0.00
N-Value	= .013	.000	.000	.000
Orif. Coeff.	= 0.60	0.00	0.00	0.00
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 8.00	0.00	0.00	0.00
Crest El. (ft)	= 1016.25	0.00	0.00	0.00
Weir Coeff.	= 2.60	0.00	0.00	0.00
Weir Type	= Broad	---	---	---
Multi-Stage	= No	No	No	No

Exfiltration = 3.600 in/hr (Contour) Tailwater Elev. = 0.00 ft

Note: Culvert/Orifice outflows have been analyzed under inlet and outlet control.



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

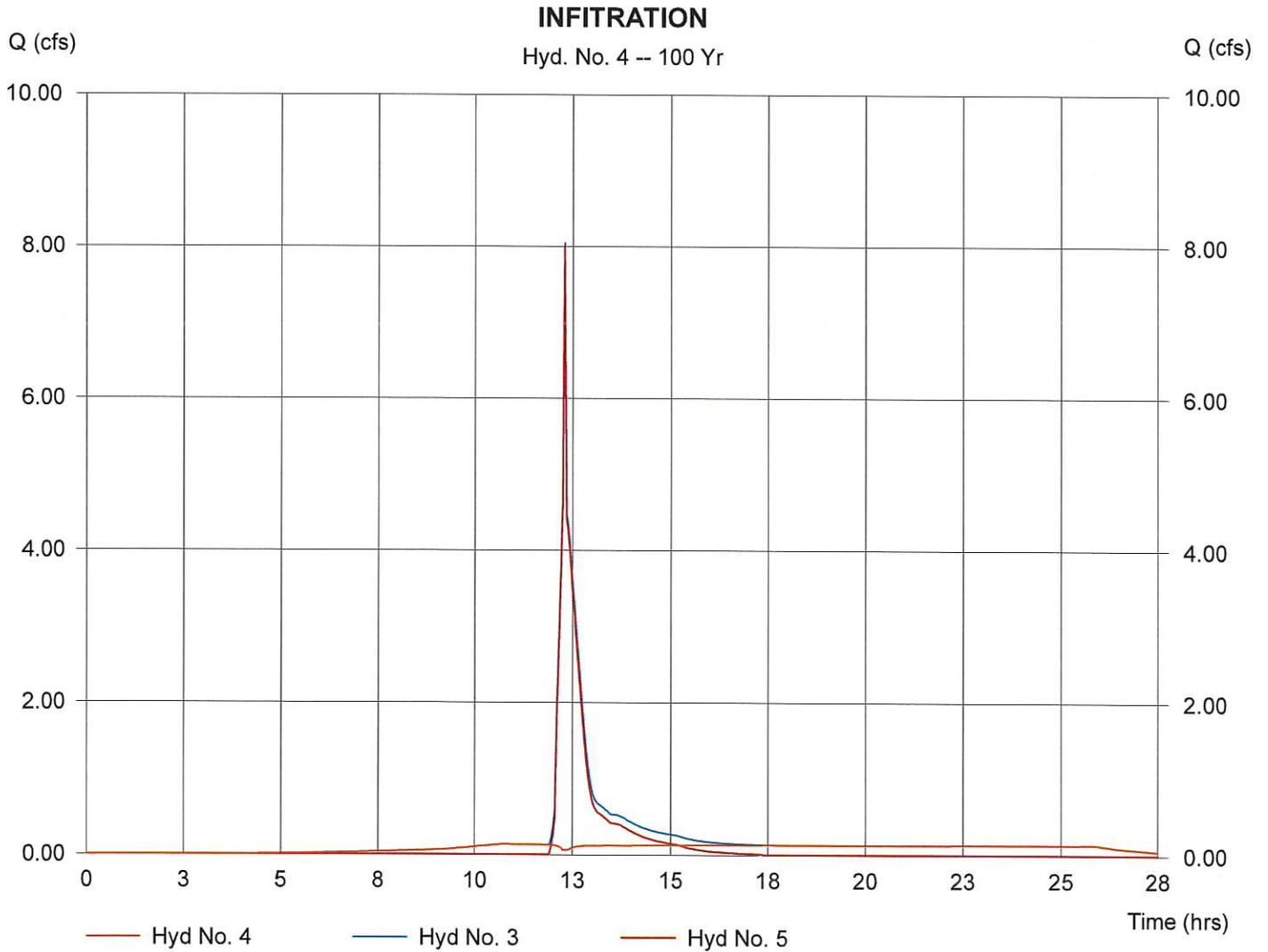
Hyd. No. 4

INFITRATION

Hydrograph type = Diversion1
 Storm frequency = 100 yrs
 Inflow hydrograph = 3
 Diversion method = Pond - STT 4500

Peak discharge = 0.13 cfs
 Time interval = 3 min
 2nd diverted hyd. = 5
 Pond structure = Exfiltration

Hydrograph Volume = 8,562 cuft



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:4 PM

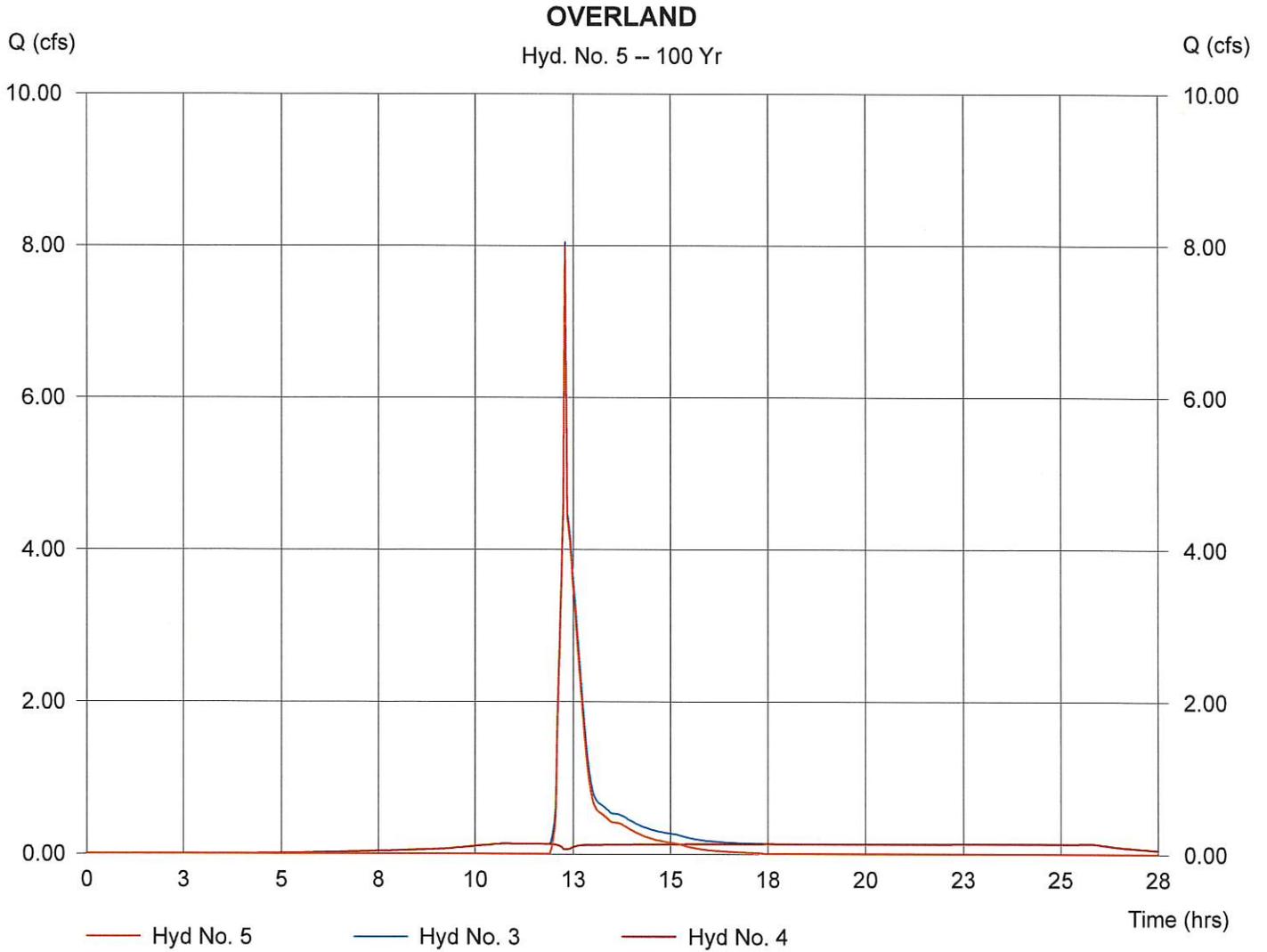
Hyd. No. 5

OVERLAND

Hydrograph type = Diversion2
Storm frequency = 100 yrs
Inflow hydrograph = 3
Diversion method = Pond - STT 4500

Peak discharge = 7.98 cfs
Time interval = 3 min
2nd diverted hyd. = 4
Pond structure = Exfiltration

Hydrograph Volume = 12,670 cuft



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:5 PM

Hyd. No. 6

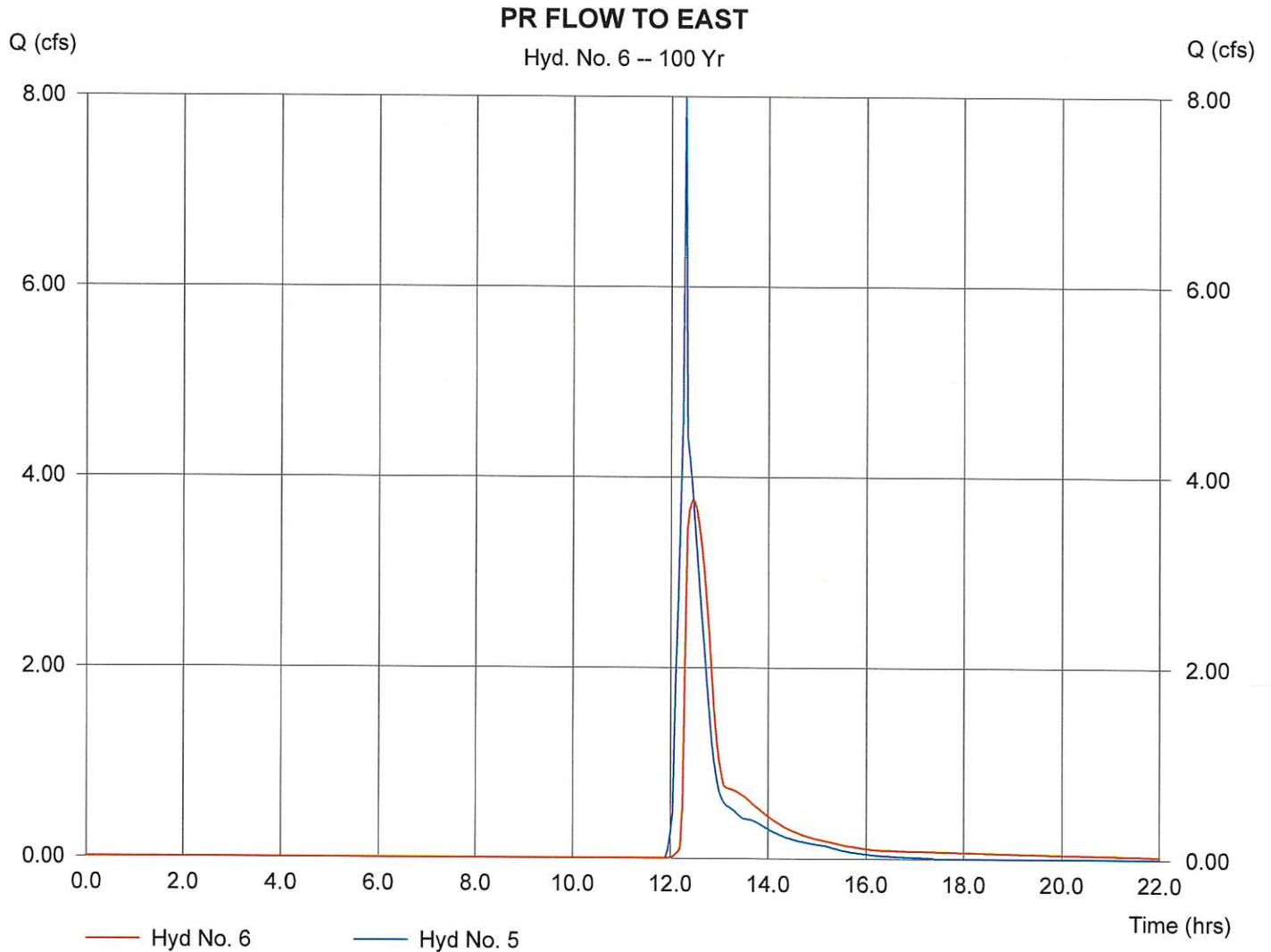
PR FLOW TO EAST

Hydrograph type = Reservoir
Storm frequency = 100 yrs
Inflow hyd. No. = 5
Reservoir name = PR BMP

Peak discharge = 3.75 cfs
Time interval = 3 min
Max. Elevation = 1016.91 ft
Max. Storage = 3,604 cuft

Storage Indication method used.

Hydrograph Volume = 12,663 cuft



Pond Report

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:5 PM

Pond No. 1 - PR BMP

Pond Data

Pond storage is based on known contour areas. Average end area method used.

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	1013.00	76	0	0
1.00	1014.00	400	238	238
2.00	1015.00	845	623	861
3.00	1016.00	1,417	1,131	1,992
4.00	1017.00	2,115	1,766	3,758
4.50	1017.50	2,504	1,155	4,912

Culvert / Orifice Structures

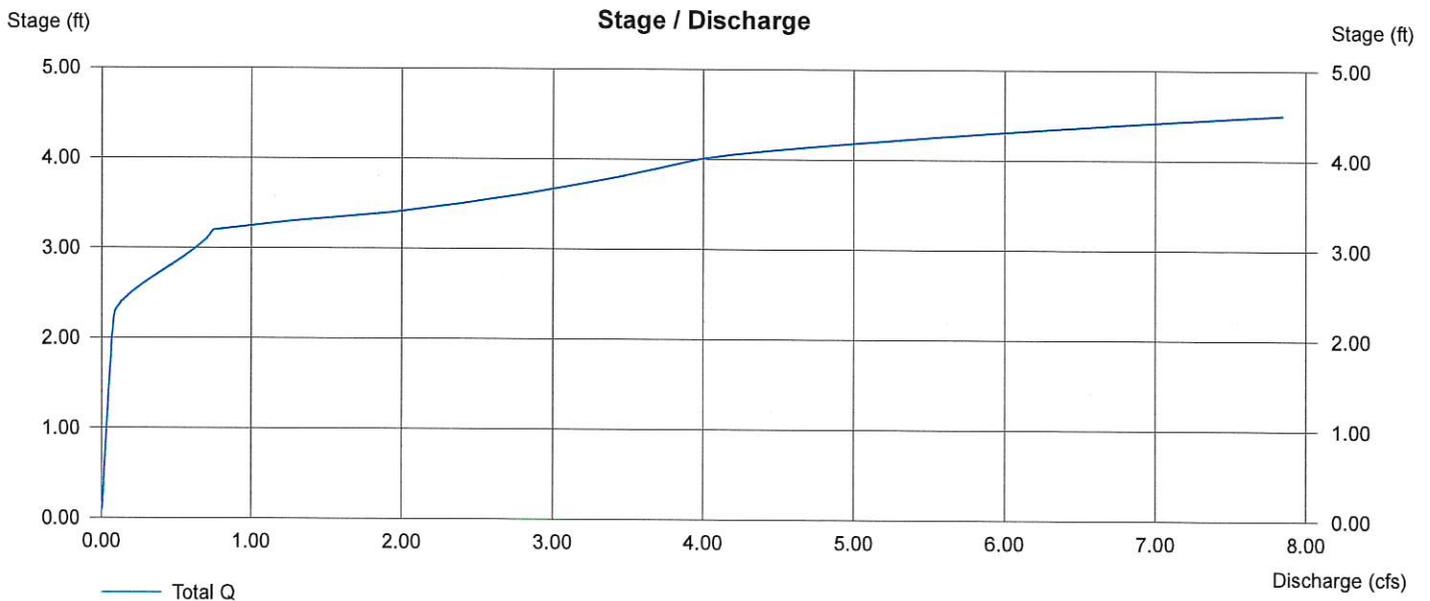
	[A]	[B]	[C]	[D]
Rise (in)	= 12.00	0.00	0.00	0.00
Span (in)	= 12.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 1015.25	0.00	0.00	0.00
Length (ft)	= 20.00	0.00	0.00	0.00
Slope (%)	= 0.10	0.00	0.00	0.00
N-Value	= .013	.000	.000	.000
Orif. Coeff.	= 0.60	0.00	0.00	0.00
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 3.00	0.00	0.00	0.00
Crest El. (ft)	= 1017.00	0.00	0.00	0.00
Weir Coeff.	= 2.60	0.00	0.00	0.00
Weir Type	= Broad	---	---	---
Multi-Stage	= No	No	No	No

Exfiltration = 3.600 in/hr (Contour) Tailwater Elev. = 0.00 ft

Note: Culvert/Orifice outflows have been analyzed under inlet and outlet control.



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:5 PM

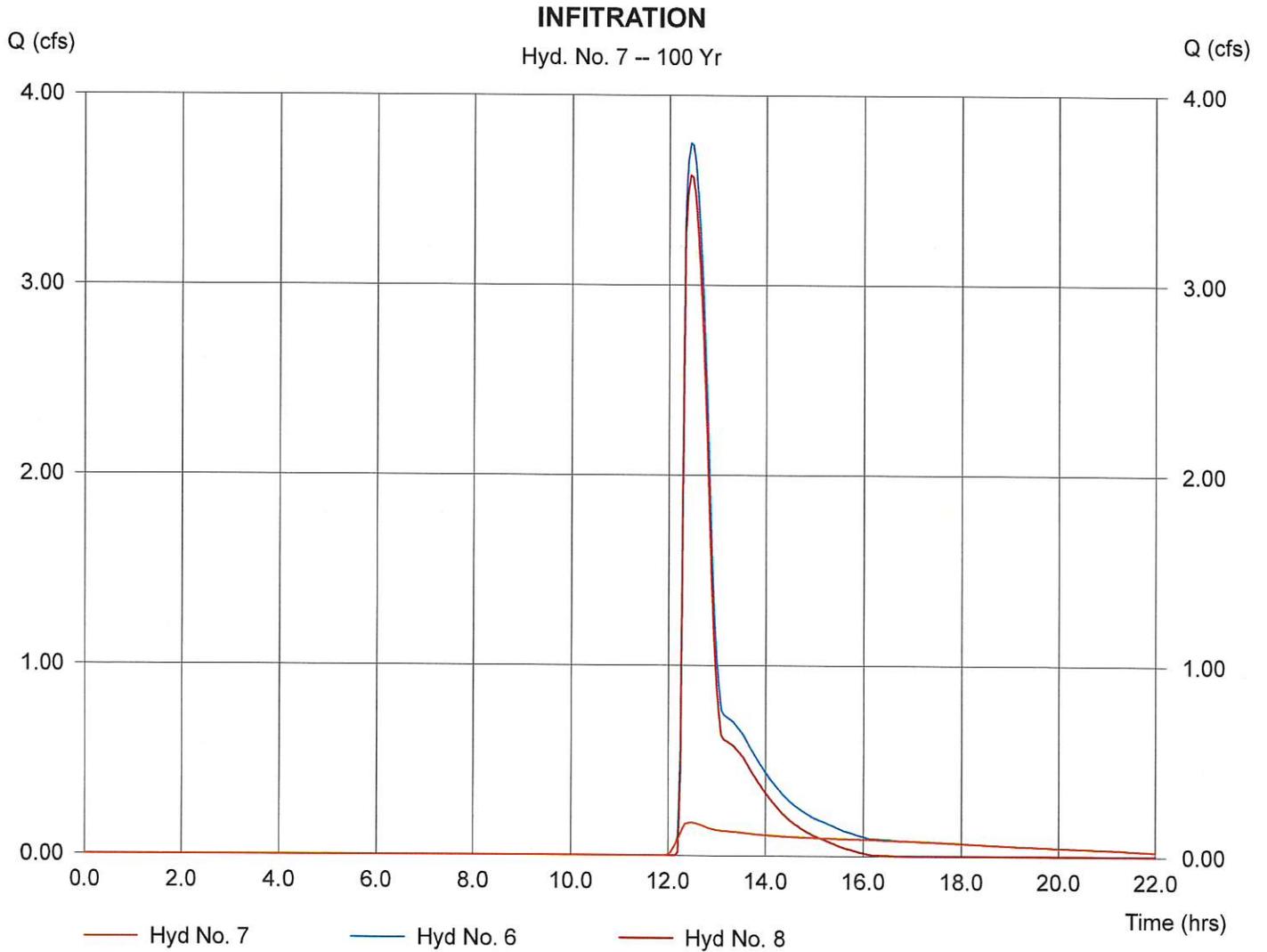
Hyd. No. 7

INFITRATION

Hydrograph type = Diversion1
Storm frequency = 100 yrs
Inflow hydrograph = 6
Diversion method = Pond - PR BMP

Peak discharge = 0.17 cfs
Time interval = 3 min
2nd diverted hyd. = 8
Pond structure = Exfiltration

Hydrograph Volume = 2,901 cuft



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:5 PM

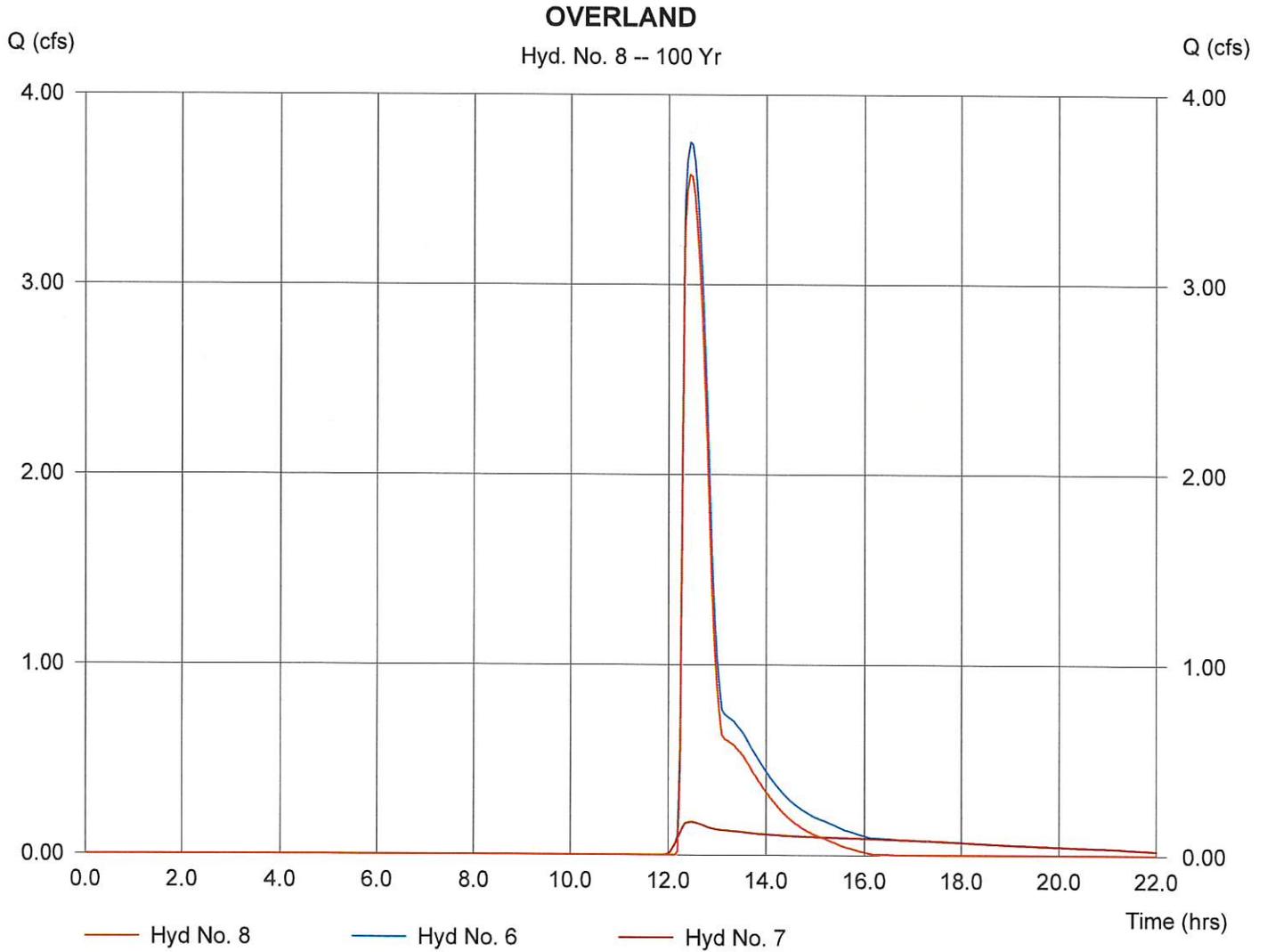
Hyd. No. 8

OVERLAND

Hydrograph type = Diversion2
 Storm frequency = 100 yrs
 Inflow hydrograph = 6
 Diversion method = Pond - PR BMP

Peak discharge = 3.58 cfs
 Time interval = 3 min
 2nd diverted hyd. = 7
 Pond structure = Exfiltration

Hydrograph Volume = 9,762 cuft



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

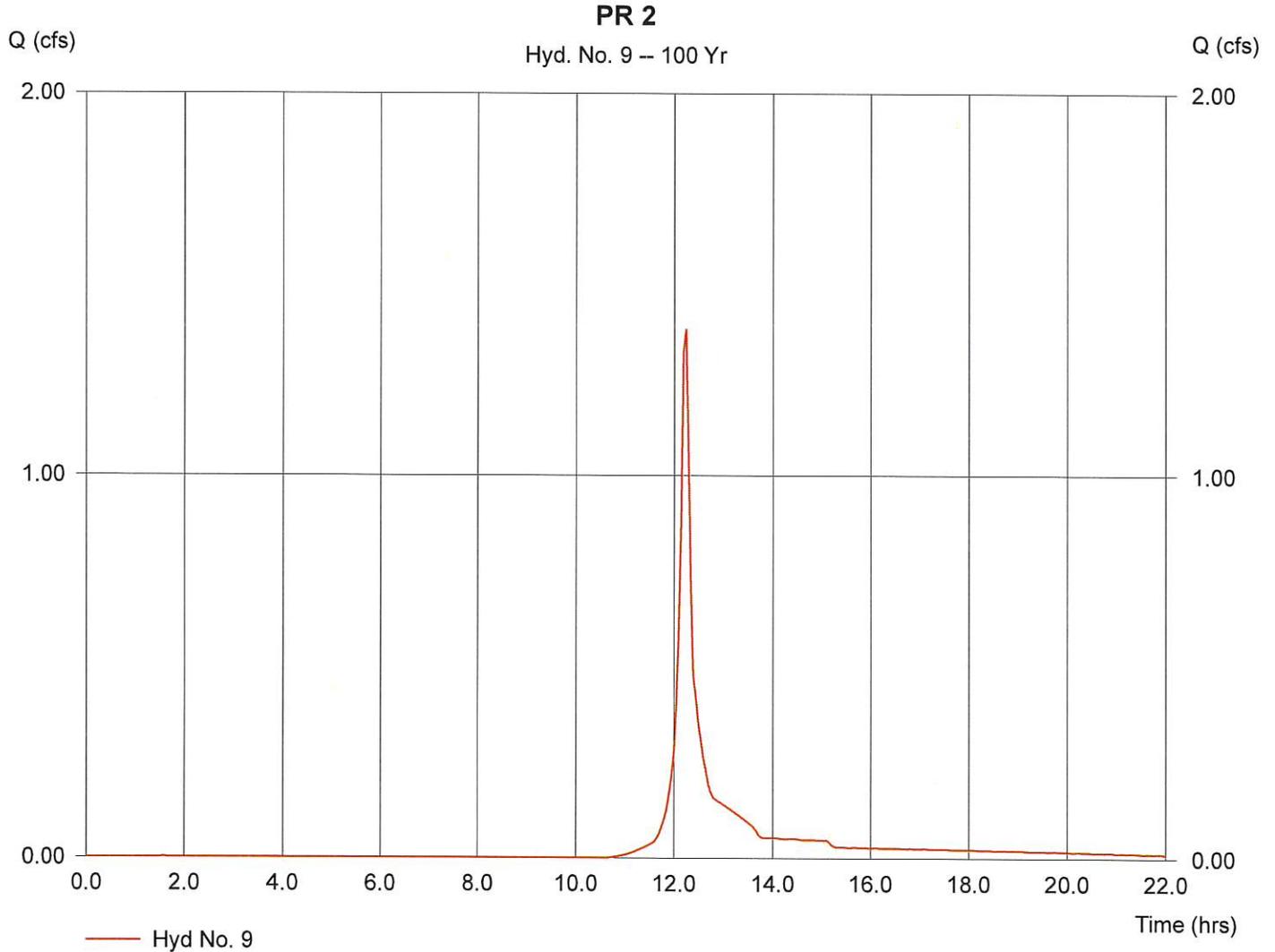
Tuesday, Jun 16 2020, 3:5 PM

Hyd. No. 9

PR 2

Hydrograph type	= SCS Runoff	Peak discharge	= 1.38 cfs
Storm frequency	= 100 yrs	Time interval	= 3 min
Drainage area	= 0.31 ac	Curve number	= 66.9
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 9 min
Total precip.	= 6.41 in	Distribution	= Custom
Storm duration	= MSE3 distribution 3 min .cfs	Shape factor	= 484

Hydrograph Volume = 2,990 cuft



Precipitation Report

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:5 PM

Hyd. No. 9

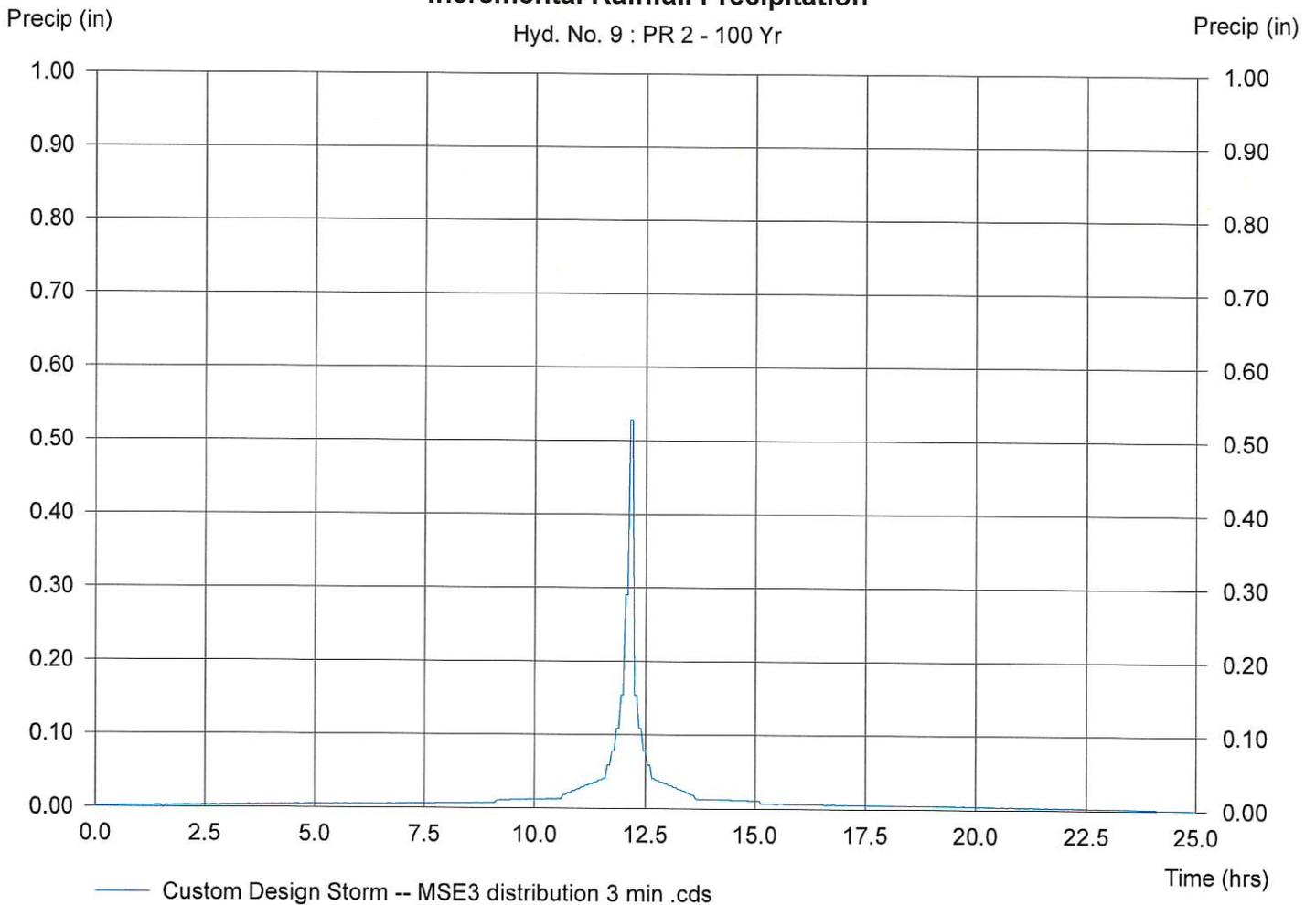
PR 2

Storm Frequency = 100 yrs
 Total precip. = 6.41 in
 Storm duration = MSE3 distribution 3 min .cds

Time interval = 3 min
 Distribution = Custom

Incremental Rainfall Precipitation

Hyd. No. 9 : PR 2 - 100 Yr



Hydrograph Plot

Hydraflow Hydrographs by Intelisolve

Tuesday, Jun 16 2020, 3:6 PM

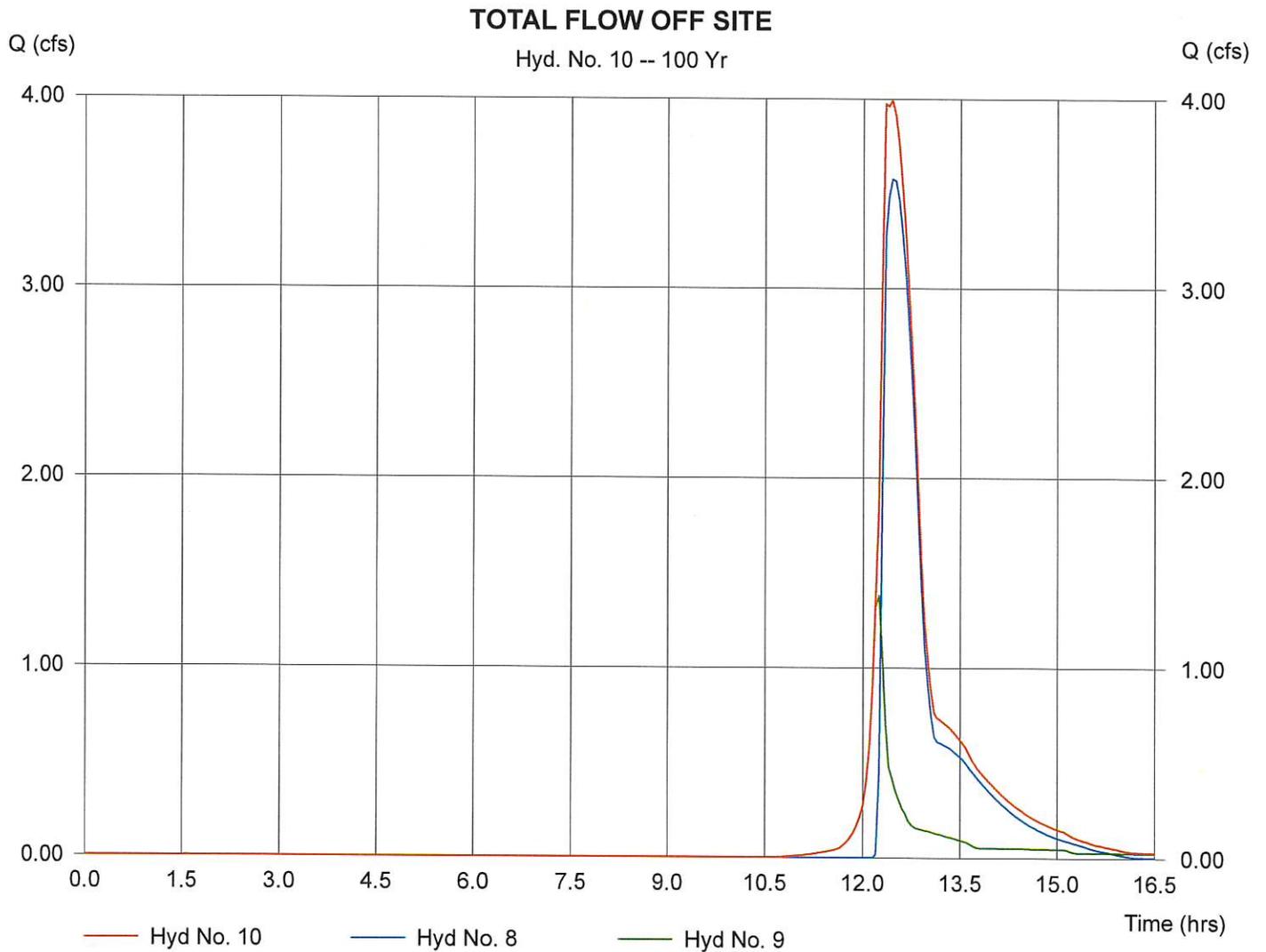
Hyd. No. 10

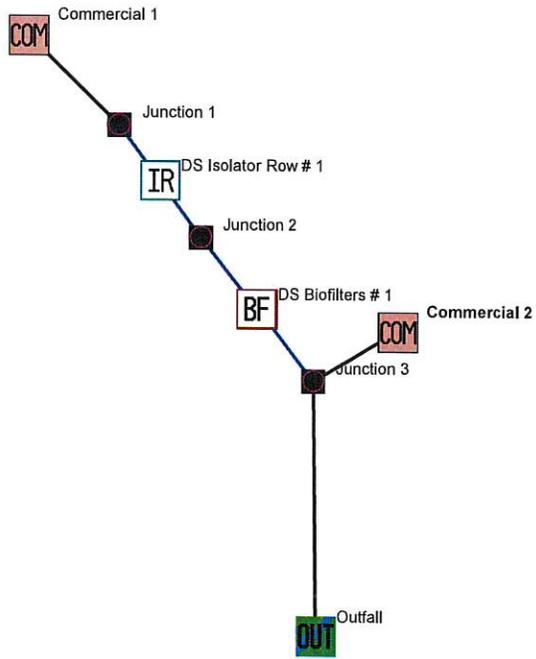
TOTAL FLOW OFF SITE

Hydrograph type = Combine
 Storm frequency = 100 yrs
 Inflow hyds. = 8, 9

Peak discharge = 3.99 cfs
 Time interval = 3 min

Hydrograph Volume = 12,752 cuft





Data file name: K:\WinSLAMM\20-3351 OH VO RICH\20-3351 PH VO RICH.mdb
WinSLAMM Version 10.4.1
Rain file name: C:\WinSLAMM Files\Rain Files\WI Milwaukee 69.RAN
Particulate Solids Concentration file name: C:\WinSLAMM Files\10.1 WI_AVG01.pscx
Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx
Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
Cost Data file name:
Seed for random number generator: -42
Study period starting date: 01/05/69 Study period ending date: 12/31/69
Start of Winter Season: 12/06 End of Winter Season: 03/28
Date: 07-23-2020 Time: 12:35:41
Site information:

LU# 1 - Commercial: Commercial 1 Total area (ac): 1.110
1 - Roofs 1: 0.150 ac. Pitched Connected PSD File: C:\WinSLAMM Files\NURP.cpz
13 - Paved Parking 1: 0.412 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz
25 - Driveways 1: 0.310 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz
31 - Sidewalks 1: 0.098 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 0.140 ac. Normal Silty PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Commercial: Commercial 2 Total area (ac): 0.310
25 - Driveways 1: 0.050 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 0.260 ac. Normal Silty PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Isolator Row CP# 1 (DS) - DS Isolator Row # 1

Total available system length (ft) = 200
Total available system width (ft) = 10
Available height from chamber base to surface (ft) = 7.00
Number of isolator rows = 1
Native soil infiltration rate (in/hr) = 3.60
Assumed stone porosity () = 0.40
Sizing option: Number of rows and row length
Number of rows = 1
Row length (ft) = 185
Selected Chamber Information
Chamber type: MC-4500
Chamber height (in): 60.00
Chamber width (in): 109.00
Chamber segment length (in): 48.30
Final storage volume (cf): 8451
Number of rows: 1
Row length (ft): 185.0
Total system length (ft): 185.0
Total system width (ft): 9.1
Number of chambers: 45
Overflow weir invert elevation (ft) = 6.00
Orifice 1 invert elevation (ft) = 2.08
Orifice 1 diameter (ft) = 0.83
Orifice 2 invert elevation (ft) = 0.00
Orifice 2 diameter (ft) = 0.00

Control Practice 2: Biofilter CP# 1 (DS) - DS Biofilters # 1

1. Top area (square feet) = 2504
2. Bottom area (square feet) = 76
3. Depth (ft): 5.5
4. Biofilter width (ft) - for Cost Purposes Only: 20
5. Infiltration rate (in/hr) = 3.6
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 1
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 3.6
12. Engineered soil depth (ft) = 1
13. Engineered soil porosity = 0.25
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0

Soil Data Soil Type Fraction in Eng. Soil

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

1. Weir crest length (ft): 3
2. Weir crest width (ft): 5
3. Height of datum to bottom of weir opening: 5

Outlet type: Surface Discharge Pipe

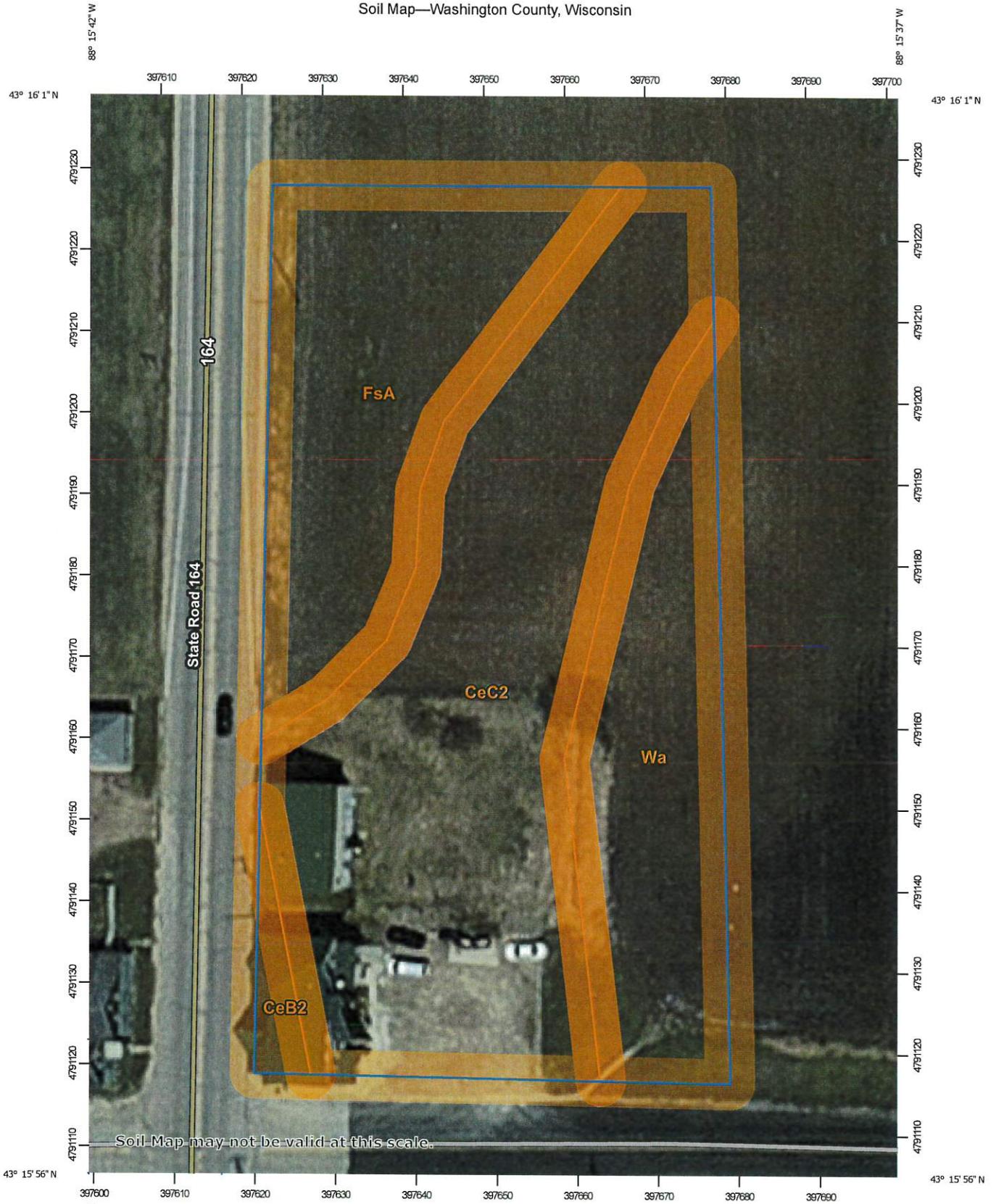
1. Surface discharge pipe outlet diameter (ft): 1
2. Pipe Invert elevation above datum (ft): 3.25
3. Number of surface pipe outlets: 1

Data file name: K:\WinSLAMM\20-3351 OH VO RICH\20-3351 PH VO RICH.mdb
WinSLAMM Version 10.4.1
Rain file name: C:\WinSLAMM Files\Rain Files\WI Milwaukee 69.RAN
Particulate Solids Concentration file name: C:\WinSLAMM Files\10.1 WI_AVG01.pscx
Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppd
Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
Cost Data file name:
Seed for random number generator: -42
Study period starting date: 01/05/69 Study period ending date: 12/31/69
Start of Winter Season: 12/06 End of Winter Season: 03/28
Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69
Date of run: 07-23-2020 Time of run: 12:35:03
Total Area Modeled (acres): 1.420
Years in Model Run: 0.99

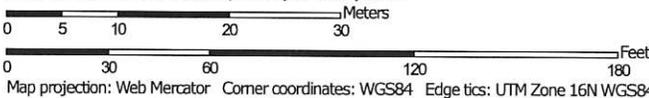
	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	83467	-	118.5	617.7	-
Outfall Total with Controls:	20174	75.83%	97.78	123.1	80.07%
Annualized Total After Outfall Controls:	20454			124.9	

Pollutant	Conc. No Controls	Conc. With Controls	Conc. Units	Pollutant Yield No Controls	Pollutant Yield With Controls	Pol. Yield Units	Percent Reduction
Particulate Solids	118.5	97.78	mg/L	617.7	123.1	lbs	80.07 %
Total Phosphorus	0.3511	0.3769	mg/L	1.829	0.4746	lbs	74.06 %

Soil Map—Washington County, Wisconsin



Map Scale: 1:645 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 16N WGS84



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

6/17/2020
Page 1 of 3

Soil Map—Washington County, Wisconsin

MAP LEGEND

Area of Interest (AOI)		 Spoil Area
 Area of Interest (AOI)		 Stony Spot
Soils		 Very Stony Spot
 Soil Map Unit Polygons		 Wet Spot
 Soil Map Unit Lines		 Other
 Soil Map Unit Points		 Special Line Features
Special Point Features		Water Features
 Blowout		 Streams and Canals
 Borrow Pit		Transportation
 Clay Spot		 Rails
 Closed Depression		 Interstate Highways
 Gravel Pit		 US Routes
 Gravelly Spot		 Major Roads
 Landfill		 Local Roads
 Lava Flow		Background
 Marsh or swamp		 Aerial Photography
 Mine or Quarry		
 Miscellaneous Water		
 Perennial Water		
 Rock Outcrop		
 Saline Spot		
 Sandy Spot		
 Severely Eroded Spot		
 Sinkhole		
 Slide or Slip		
 Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Washington County, Wisconsin
 Survey Area Data: Version 19, Sep 14, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 29, 2011—Sep 6, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CeB2	Casco loam, 2 to 6 percent slopes, eroded	0.0	1.8%
CeC2	Casco loam, 6 to 12 percent slopes, eroded	0.8	51.5%
FsA	Fox silt loam, 0 to 2 percent slopes	0.4	25.1%
Wa	Walkill silt loam	0.3	21.6%
Totals for Area of Interest		1.5	100.0%



Division of Safety and Buildings

in accordance with SPS 382.365 and 385, Wis. Adm. Code

Attach complete site plan on paper not less than 8 1/2 x 11" in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and % slope, scale or dimensions, north arrow, location & distance to nearest road.

County	WASHINGTON
Parcel I.D.	V10-008000A
Reviewed by	Date

Please print all information

Personal information you provide may be used for secondary purposes (Privacy Law, s.15.04(1)(m)).

Property Owner PLEASANT HILL MANAGEMENT LLC	Property Location SE 1/4, SE 1/4, S 4, T 9 N, R 19 E
Property Owner's Mailing Address 601 PLAT RD.	Lot # Subd. Name or CSM#
City State Zip Code Phone Number COLGATE, WI 53017	<input type="checkbox"/> City <input checked="" type="checkbox"/> Village Nearest Road RICHFIELD STATE HWY 164

Drainage area: 1.3 <input type="checkbox"/> sq.ft. <input checked="" type="checkbox"/> acres	Hydraulic Application Test Method:
Optional: Test Site Suitable for (check all that apply)	<input checked="" type="checkbox"/> Morphological Evaluation
<input type="checkbox"/> Irrigation <input type="checkbox"/> Bioretention trench <input type="checkbox"/> Trenches	<input type="checkbox"/> Double-Ring Infiltrometer
<input type="checkbox"/> Rain garden <input type="checkbox"/> Grassed swale <input type="checkbox"/> Reuse	<input type="checkbox"/> Other (specify) _____
<input type="checkbox"/> Infiltration trench <input type="checkbox"/> SDS (>15'wide) <input type="checkbox"/> Other _____	

Boring

1	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.	1014.8'	Depth to limiting factor	N/A	Hydraulic App. Rate	Inches/Hr	
Horizon	Depth inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Hydraulic App. Rate Inches/Hr
A	0-7	10YR3/2		sil	2fsbk	fr	as	2	0.13
Bt	7-14	10YR4/4		cl	2fsbk	fi	cs	5	0.03
BC	14-22	10YR4/6		scl	1fsbk	fi	as	10	0.11
C1	22-41	10YR6/4		gr s	Osg	l	as	15	3.6
C2	41-52	10YR6/4		s	Osg	l	cw	5	3.6
C2	52-110	10YR6/4		gr s	Osg	l		20	3.6

Boring

2	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.	1014.32'	Depth to limiting factor	N/A	Hydraulic App. Rate	Inches/Hr	
Horizon	Depth inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Hydraulic App. Rate Inches/Hr
FILL	0-100		MIXED ASPHALT AND CLAYEY SUBSOIL WITH COMPACTION						0

CST Name	JEFFREY L. HAMMES	Signature		CST Number	223300
Address	820 WILLIAMSON ST., #401 MADISON, WI 53703	WI Professional Soil Scientist - 191-112		Telephone No.	(608)233-9200
		Date Evaluation Conducted:	4/30/2020		

20-3351

Boring

3	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.	1016.88'	Depth to limiting factor	N/A			Hydraulic App. Rate Inches/Hr
Horizon	Depth Inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr.Sz.Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Hydraulic App. Rate Inches/Hr
FILL	0-9	10YR4/4		cl	2mabk	fi	as	1	0.03
A	9-14	10YR3/2		sil	2fsbk	fr	as	1	0.13
Bt	14-32	10YR4/4		cl	2fsbk	fi	cs	2	0.03
BC	32-38	10YR4/6		sl	1fsbk	vfr	as	10	0.5
C1	38-75	10YR6/4		s	0sg	l	as	5	3.6
C2	75-115	10YR6/4		gr s	0sg	l		15	3.6

Boring

	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.		Depth to limiting factor				Hydraulic App. Rate Inches/Hr
Horizon	Depth Inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr.Sz.Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Hydraulic App. Rate Inches/Hr

Boring

	Obs. #	<input checked="" type="checkbox"/> Pit	Ground surface elev.		Depth to limiting factor				Hydraulic App. Rate Inches/Hr
Horizon	Depth Inches	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr.Sz.Sh.	Consistence (Moist)	Boundary	% Rock Fragmts.	Hydraulic App. Rate Inches/Hr

The Dept. of Safety and Professional Services is an equal opportunity service provider and employer. If you need assistance to access services or need material in an alternate format, contact the department at 608-266-3151 or TTY through Relay.



W61 N497 Washington Avenue
Cedarburg, WI 53012

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262-204-2360
800-472-7372
FAX 262-375-2688
www.cedarcorp.com

July 22, 2020

Mr. James Healy, Village Administrator
Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033

RE: Pleasant Hill Bar
Site Plan and Erosion Control Review

Dear Mr. Healy:

We have completed our review of the Site Plan and Erosion Control Plan for grading and pavement modifications associated with a building addition for Pleasant Hill Bar in the Village of Richfield. Plans were prepared by Lake County Engineering, Inc. We offer the following comments:

1. Please note the parcel numbers in the text of the ECSWMP report.
2. The development is located in reach 23 of the Rock River Basin. The development must comply with the requirements of the TMDL. Please provide the proposed TP reductions for the site.
3. A maintenance agreement was not provided. Please provide and reference Village code 167-18. In addition to the requirements listed, please reference a map of the site with all BMPs covered by the agreement and reference the document as exhibit A. Please note following the approval of the maintenance agreement, it will be required to be recorded with the County Register of Deeds.
4. Please provide the erosion control calculations. An erosion control plan shall by design achieve a runoff discharge of no more than five tons of sediment per acre per year.
5. Please note, following construction a professional engineer will be required to certify that the stormwater BMPs were constructed and comply with the approved plans. In addition, as-built plans will be required to be submitted by either a licensed professional surveyor or engineer. No further action is required at this time.
6. Please note, following approval of the ECSWMP, a copy of the recorded maintenance agreement and all digital modeling including CAD files, winSLAMM files and volume control modeling will be required.

Cedarburg | Green Bay | Madison | Menomonie

July 22, 2020
Village of Richfield
Pleasant Hill Bar, Site Plan and Erosion Control Review
Page 2

Please contact me at our Cedarburg office (phone 262-204-2341) if you require any additional information or if you have any questions.

Sincerely,

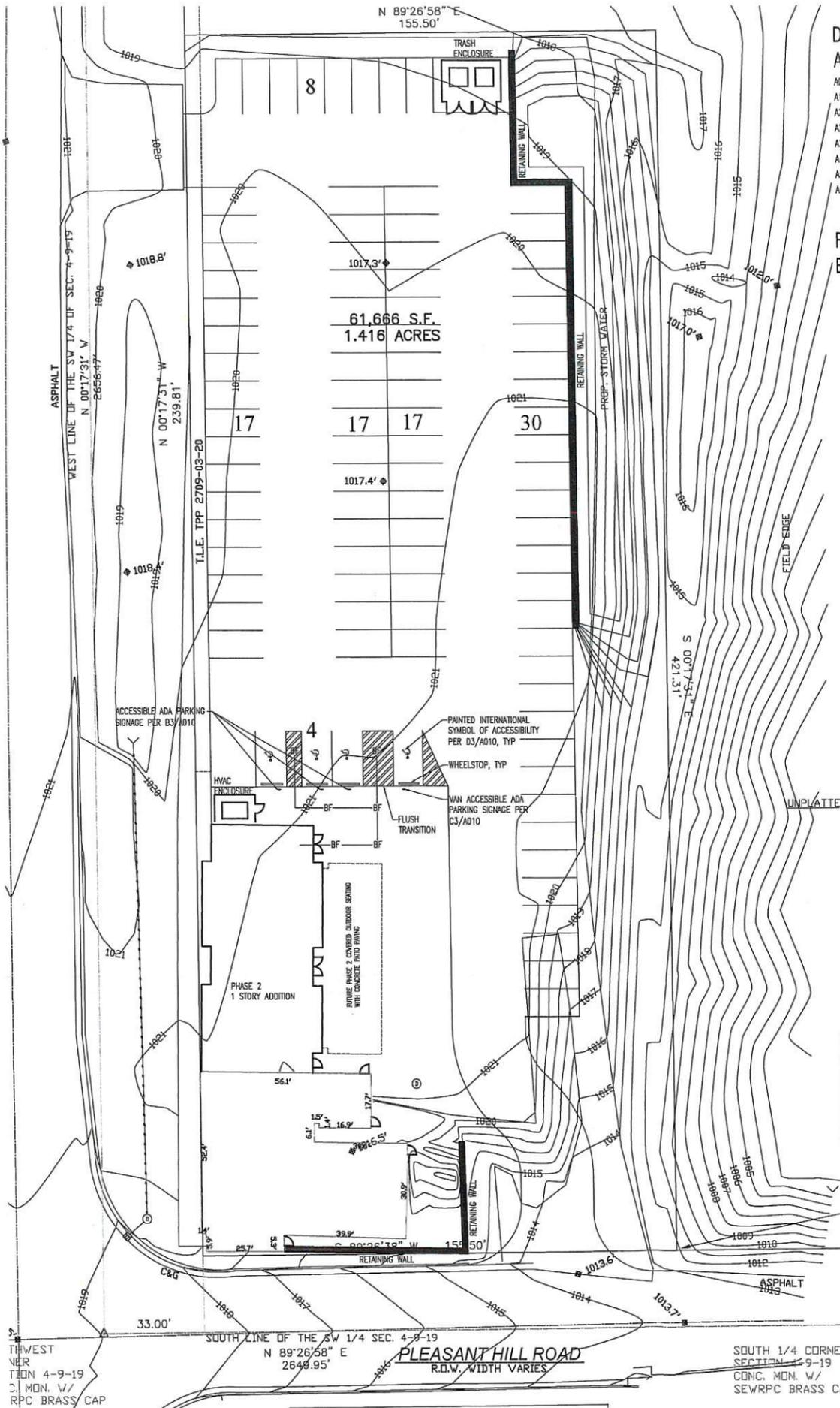
CEDAR CORPORATION

A handwritten signature in blue ink, appearing to read "Ronald D. Dalton".

Ronald D. Dalton, P.E.
Director/Office Manager

RDD/rm

cc: Robert J. Davy, P.E., Lake County Engineering, Inc.



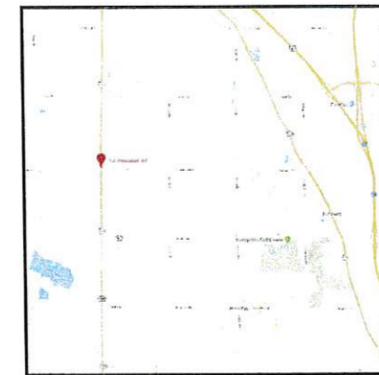
Drawing Sheet Index

Architectural

- A010 Coversheet, Phase 2 Site Plan, Code Information
- A110 Basement, First Floor and Second Floor Demolition Plans
- A210 Basement Floor Plan, First Floor Plan
- A211 Second Floor Plan, Roof Plan
- A310 First Floor Reflected Ceiling Plan
- A410 Exterior Elevations - Phase 1
- A510 Building Sections
- A610 Room Finish, Material and Door Schedules, Hardware Groups

Fire Protection, Plumbing, HVAC and Electrical - Design Build

Project Location Map



foundation architects LLC
 2625 S. Greeley Street, Ste 203
 Milwaukee, WI 53207

info@foundationarchitects.com
 Phone (414) 403-3433
 www.foundationarchitects.com

Code and Zoning Information

2018 Wisconsin Commercial Building Code
 Tavern, Assembly Occupancy, Group A-2
 Commercial Kitchen, Un-Separated use, Storage, Un-Separated use.
 Business Occupancy, Group B, Second Floor Existing Use
 Business Occupancy Equipment Platform, Group B, Second Floor Separated use.
 Zoning: B-4 Highway Business District, Village of Richfield ordinances
 Addition Type of Construction: Type VB, Un-protected - Fully Sprinklered Per NFPA 13, 2 Story with Basement

Building Data:

Existing Basement	1,943 sq ft
Existing First Floor	3,366 sq ft
Dining Addition First Floor	3,040 sq ft
Existing Second Floor	1,990 sq ft
Total	10,339 sq ft

Occupant Load: (By Calculation)

Existing Building Basement Accessory Storage Areas:
 7 Persons Gross Storage Area (1,943 sf / 300 sf / Person)
 First Floor Tavern / Restaurant:
 Tavern Assembly Areas: 88 Persons Net A-2 Occupancy (1,311 sf / 15 sf / Person)
 Bar Service Areas: 3 Persons (185 sf / Actual Count)
 Kitchen Areas: 4 Persons Gross A-2 Occupancy (741 sf / 200 sf / Person)
 New Dining Area: 202 Persons Net A-2 Occupancy (3,040 sf / 15 sf / Person)
 Second Floor Business Areas & Equipment Platform:
 20 Persons Gross B Occupancy (1,990 sf / 100 sf / Person)

Exiting:

Basement: Required Aggregate Exit Width: 32' Clear (5 Persons x 0.2) Actual: 33.5'
 First Floor Required Aggregate Exit Width: 32' Clear (85 Persons x 0.2) Actual: 167.5'
 Second Floor Required Aggregate Exit Width: 32' Clear (20 Persons x 0.2) Actual: 33.5'
 Second floor has one exit with less than 75' common path.

Toilet Rooms:

No Changes to Existing Toilets.

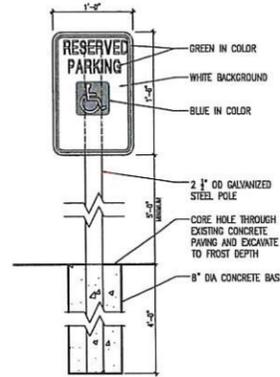
Parking Requirements:

Proposed Stalls: 93 Total: 89 Regular, 4 ADA w/ 1 Van Accessible

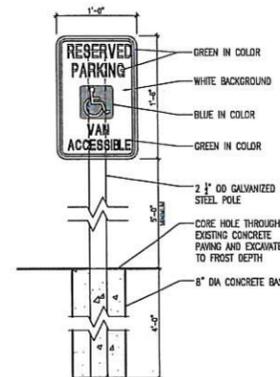
ADA Access Route:

This sheet indicated with 'BF' and Arrows.

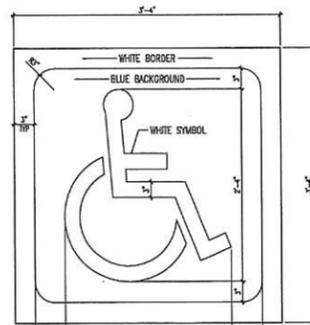
B3 HANDICAP ACCESSIBLE PARKING SIGN
 1" = 1'-0"



C3 HANDICAP VAN ACCESSIBLE PARKING SIGN
 1" = 1'-0"



D3 INTERNATIONAL SYMBOL OF ACCESSIBILITY
 1" = 1'-0"



PROPERTY INFORMATION:	
GROSS LAND AREA PER 2019 LAND TECH SURVEY	61,666 SF, 1.416 AC
BUILDINGS:	
EXISTING BASEMENT	1,943 SF
EXISTING FIRST FLOOR	3,366 SF
EXISTING SECOND FLOOR	1,990 SF
PHASE 2, 1 STORY, FIRST FLOOR ADDITION	3,040 SF
TOTAL	10,339 SF
LAND COVERAGE:	
BUILDING FLOOR AREA	6,395 SF, .237 AC
LANDSCAPED OPEN AREAS	15,696 SF, .357 AC
IMPERVIOUS AREAS	45,970 SF, 1.055 AC
FLOOR AREA RATIO	10.37, 10.37%
LANDSCAPED OPEN AREA RATIO	25.45, 25.45%
IMPERVIOUS AREA RATIO	74.55, 74.55%
PARKING:	
PROPOSED REGULAR STALLS	89 STALLS
PROPOSED ADA STALLS	4 STALLS
TOTAL	93 STALLS

PHASE 2 Addition
Pleasant Hill Bar
 2102 WI-164
 Richfield, Wisconsin 53076

Project Team

Architect
 Foundation Architects, LLC
 Craig Eide, AIA (414) 403-3433
 craig@foundationarchitects.com

Structural Engineer
 Integrated Structural Engineering, LLC
 Peter Barink (920) 470-3119
 pete@ise-llc.net

Fire Protection, Plumbing, HVAC and Electrical Engineer - Design Build By Others

Owner
 Pleasant Hill Bar
 John Loosen (414) 333-8770
 johnloosen@at.net

REVISION	DATE	DESCRIPTION
1	01-26-2020	SITE REVISIONS
2		
3		
4		
5		
6		
7		
8		

NET TITLE ARCHITECTURAL REVIEW DRAWING SET

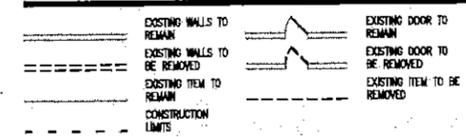
FOUNDATION ARCHITECTS PROJECT NUMBER 19012

DATE 05-29-2020

SHEET TITLE COVER SHEET PHASE 2 SITE PLAN SHEET NUMBER

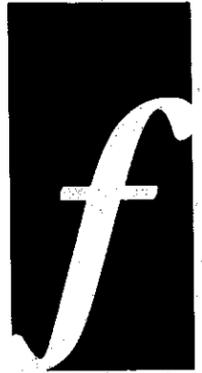
A010

DEMOLITION PLAN - SYMBOLS LEGEND



DEMOLITION PLAN - GENERAL NOTES

- A. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. VERIFY ELECTRICAL IN PARTITIONS SHOWN TO BE DEMOLISHED AND RELOCATE PER CODE. COORDINATE WITH DESIGN BUILD PLANS.
- B. CONSTRUCT A DUST-PROOF PARTITION TO CONTAIN AREAS OF CONSTRUCTION.
- C. WHERE EXISTING PLUMBING IS REMOVED CAP PER CODE AND FIRE SEAL OR INFILL PENETRATION TO MATCH EXISTING CONSTRUCTION.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT. RECEIVE AUTHORIZATION FROM JOHN LOOSEN AND PLEASANT HILL BAR IF DISRUPTION WILL AFFECT THEIR OPERATION.
- F. REMOVE FLOOR FINISHES, INCLUDING SETTING BED IN CERAMIC TILE AREAS, WHERE NEW FLOORING IS INDICATED.
- G. REMOVE SUSPENDED CEILINGS AND RELATED HANGERS, OR GYPSUM BOARD/ PLASTER CEILINGS WHERE NEW CEILINGS ARE INDICATED ON REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE.
- H. REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS IN AREAS INDICATED TO RECEIVE NEW FINISHES INCLUDING BUT NOT LIMITED TO, CABINETRY, EQUIPMENT, SHELVING, HANDRAILS, CLOSET POLES, MIRRORS, WALL AND CEILING TRIM, BASE.



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 2625 S. Greeley Street, Ste 203
 Milwaukee, WI 53207
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 Phone (414) 403-9439
 www.foundationarchitects.com

CONTRACT NO.

PROJECT NAME AND LOCATION

PHASE 2 Addition
 Pleasant Hill Bar
 2102 WI-164
 Richfield, Wisconsin 53076

REVISION
▲
▲
▲
▲
▲
▲

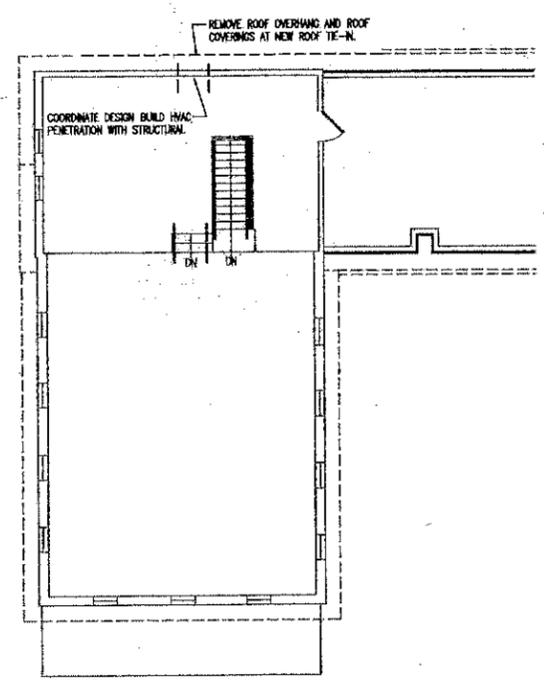
SET OF ARCHITECTURAL REVIEW DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER
 19012

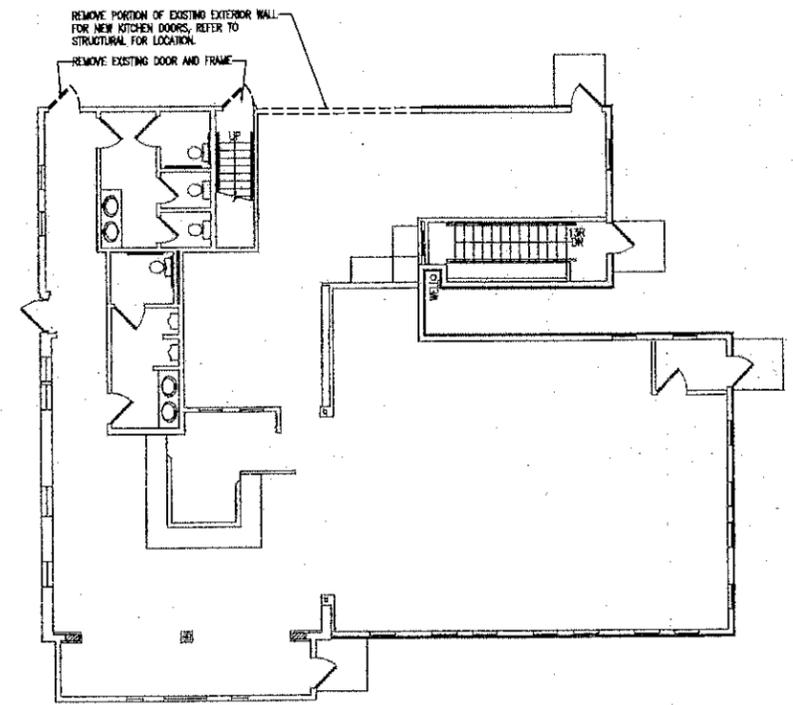
DATE
 05-28-2020

SHEET TITLE
 BASEMENT, FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS

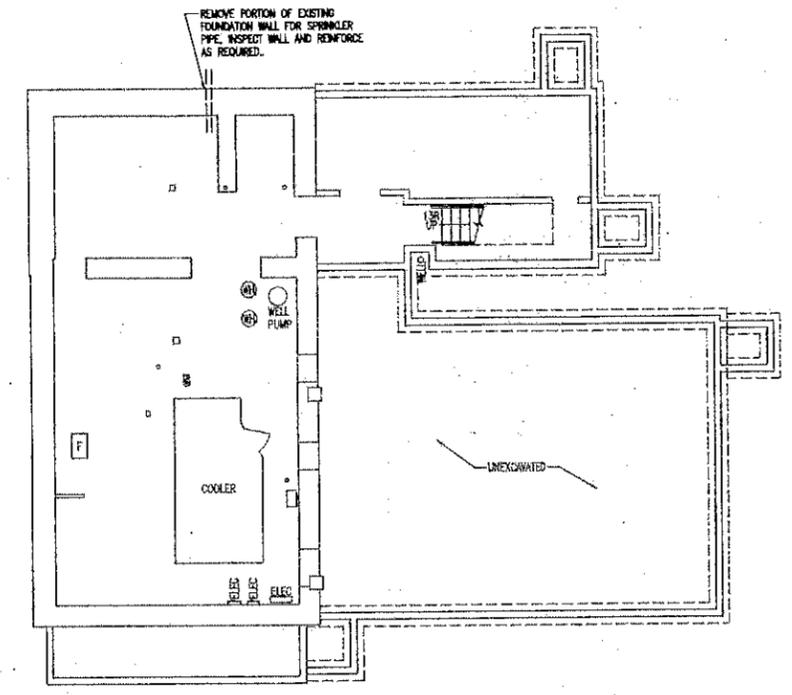
SHEET NUMBER
A110



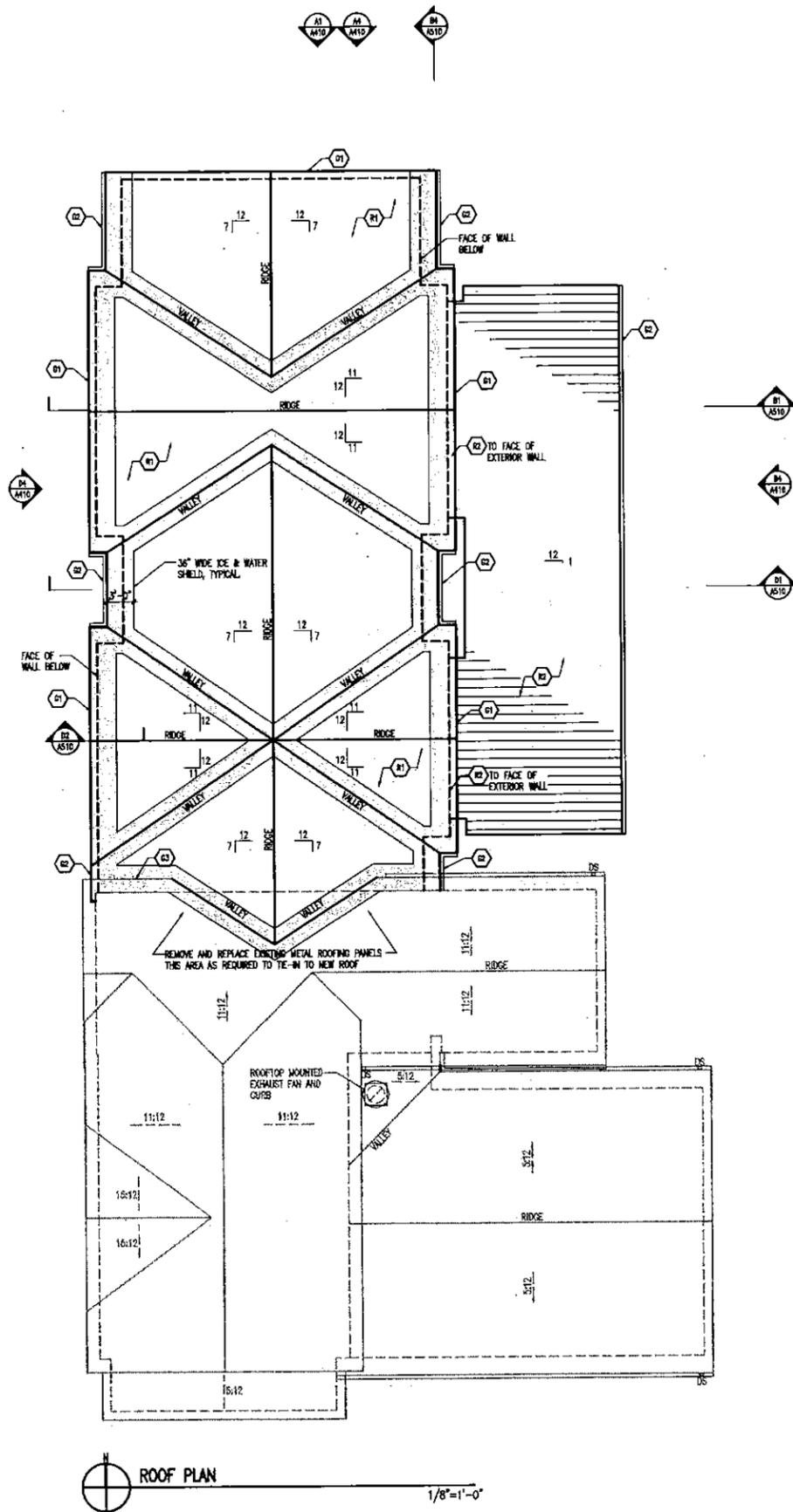
SECOND FLOOR DEMOLITION PLAN
 1/8"=1'-0"



FIRST FLOOR DEMOLITION PLAN
 1/8"=1'-0"



BASEMENT DEMOLITION PLAN
 1/8"=1'-0"



ROOF PLAN - SYMBOLS LEGEND

- DIRECTION OF ROOF PITCH
- VALLEY OR RIDGE
- EXTENT OF ICE AND WATER SHIELD
- - - CONSTRUCTION LIMITS

ROOF PLAN - GENERAL NOTES

- A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS.
- B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

ROOF CONSTRUCTION LEGEND

- (R1) ASPHALT SHINGLE ROOFING SYSTEM: SHINGLES, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 2\"/>
- (R2) PREFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON SLIP SHEET, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 2\"/>
- (R3) METAL FASCIA: PREFINISHED ANODIZED ALUMINUM FASCIA ON EXTERIOR GRADE PLYWOOD, FASTEN TO STRUCTURE PER SPECIFICATION.
- (R4) GUTTER AND DOWNSPOUT: PAINTED METAL SEAMLESS GUTTER FORMED IN THE "T" STYLE SHAPE WITH 5\"/>
- (R5) METAL COUNTERFLASHING: TWO PIECE "SHAP-IN" METAL COUNTERFLASHING W/ RECEIVER WEDGED-IN PLACE IN SAW CUT JOINT (3\"/>
- (R6) METAL COUNTERFLASHING: METAL COUNTERFLASHING W/ UPTURNED LED EXTENDED 8\"/>

ROOF PLAN
1/8"=1'-0"

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL OR PARTITION
- EXISTING WALLS TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- SECTION REFERENCE
- DETAIL REFERENCE
- INTERIOR ELEVATION REFERENCE
- INTERIOR PARTITION P1 TYPICAL LIND
- 2-2-2-2- TWO HOUR FIRE RESISTIVE CONSTRUCTION
- WINDOW TYPE, REFER TO D2/AB00
- - - CONSTRUCTION LIMITS

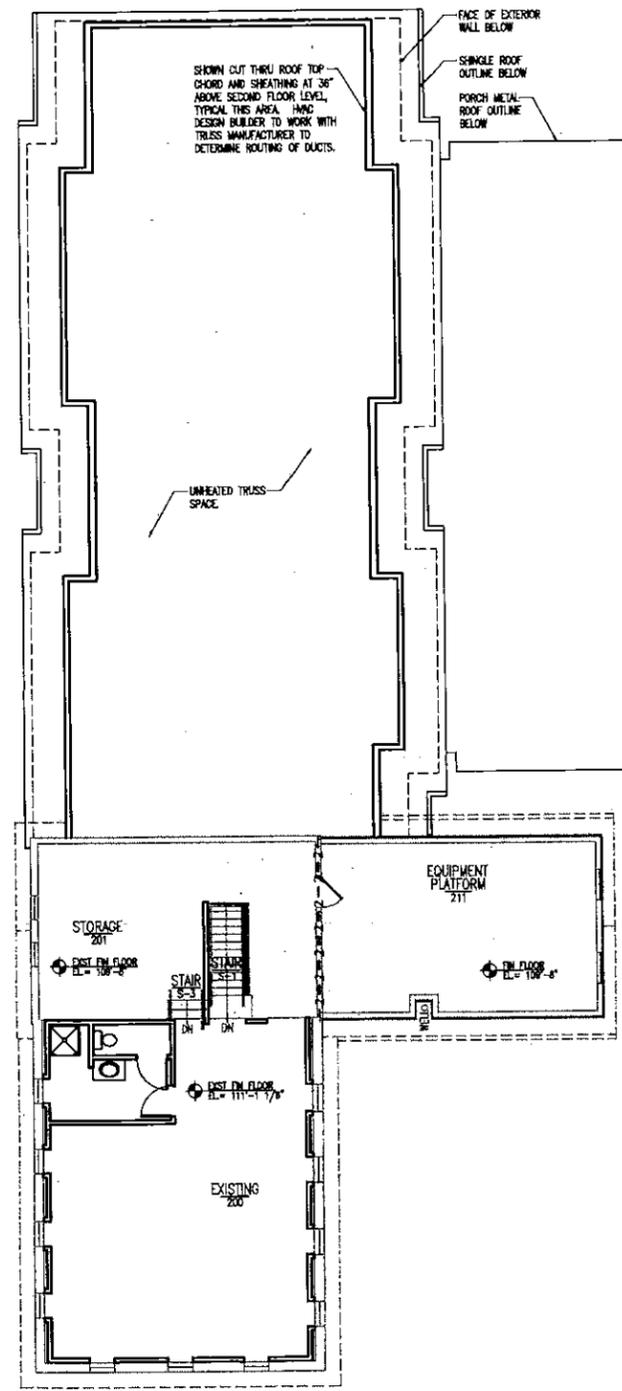
FLOOR PLAN - GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

INTERIOR PARTITION LEGEND

- (P1) SOUND PARTITION: 2x4 WOOD STUDS @ 16\"/>
- (P2) 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16\"/>
- (P3) FURRED PARTITION: 2x4 WOOD STUDS @ 16\"/>
- (P4) SOUND PARTITION: 2x6 WOOD STUDS @ 16\"/>

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Milwaukee, WI 53207
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Phone (414) 403-3433
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SECOND FLOOR PLAN
FIN FLOOR (NORTH) = 109'-8" (1031.34')
FIN FLOOR (SOUTH) = 111'-1 1/8" (1032.76')
1/8"=1'-0"

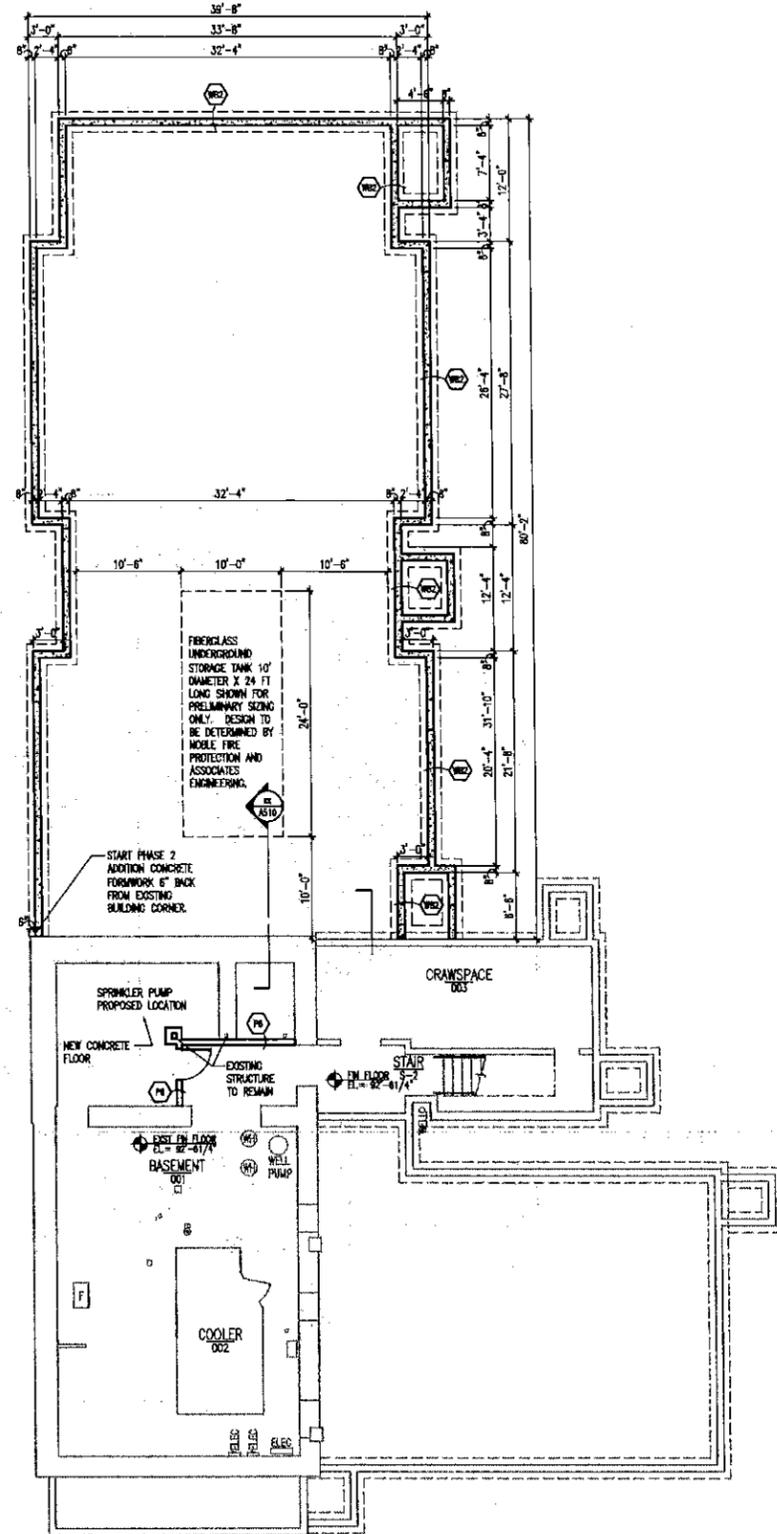


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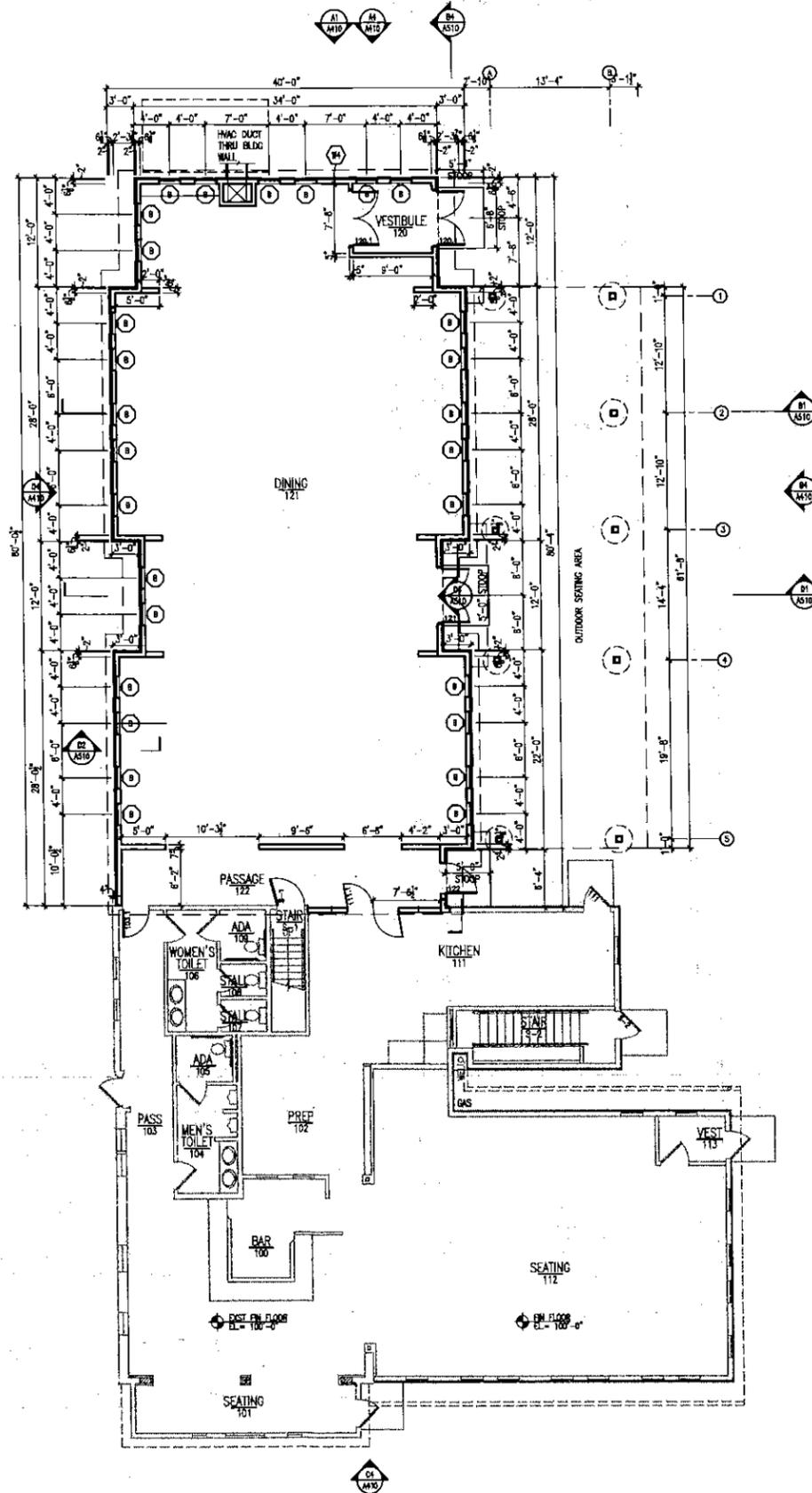
PHASE 2 Addition
Pleasant Hill Bar
2102 WI-164
Richfield, Wisconsin 53076

REVISIONS
DATE: 05-28-2010
SHEET TITLE: SECOND FLOOR PLAN ROOF PLAN
SHEET NUMBER: A211

A211

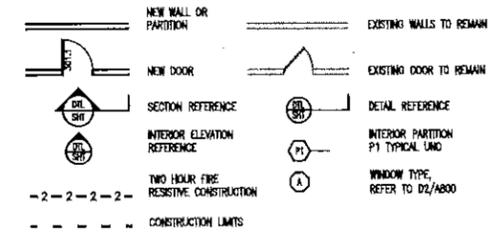


BASEMENT FLOOR PLAN
FIN FLOOR = 92'-8 1/4" (1014.19')
1/8" = 1'-0"



FIRST FLOOR PLAN
FIN FLOOR = 100'-0" (1021.67')
1/8" = 1'-0"

FLOOR PLAN - SYMBOLS LEGEND



FLOOR PLAN - GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

INTERIOR PARTITION LEGEND

- P1 SOUND PARTITION: 2x4 WOOD STUDS @ 16" O.C. W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- P2 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16" O.C. W/ 3" CLASS FIBER BATT INSULATION & (2) LAYERS 5/8" TYPE X GYP BO EA FACE. PROVIDE 2 HR RATED UL PLU001 DESIGN WHERE 2 HR CONSTRUCTION IS INDICATED. EXTEND FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY AND TO MATCH FIRE RATING REQUIREMENTS.
- P4 FURRED PARTITION: 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP BO. COORDINATE RELOCATION OF ELECTRICAL BOXES AND CONDUIT AS NECESSARY TO INSTALL NEW SURFACE. EXTEND 3" MIN ABOVE CEILING HEIGHT.
- P5 SOUND PARTITION: 2x6 WOOD STUDS @ 16" O.C. W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.

EXTERIOR WALL TYPE LEGEND

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TYPE W4 UNLESS NOTED OTHERWISE.
 2. ALL EXTERIOR WALLS (BELOW GRADE) TYPE W02 UNLESS NOTED OTHERWISE.
 3. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF SIDING STYLE AND PATTERN CHANGES.
- W4 EXTERIOR WALL: STUD WALL CONSISTING OF LP SHARPSIDE SIDING, 3/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTERNAL WEATHER AND AIR BARRIER, 2x6 WOOD STUDS @ 16" O.C. WITH FULL THICKNESS R-20 BATT INSULATION, VAPOR RETARDER AND (1) LAYER 5/8" TYPE X GYPSUM BOARD AT INTERIOR FACE. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
 - W02 EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. EXTEND HORIZONTAL INSULATION WHERE IN-SLAB RADIANT HEATING IS PROVIDED. COORDINATE WORK WITH DESIGN BUILD HVAC. REFER TO DRAWINGS FOR WALL THICKNESSES.



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CORNER LINE

PROJECT TITLE AND LOCATION

PHASE 2 Addition
Pleasant Hill Bar
2102 WI-164
Richfield, Wisconsin 53076

REVISION	DATE	DESCRIPTION
	02-17-2026	ADDENDUM 2

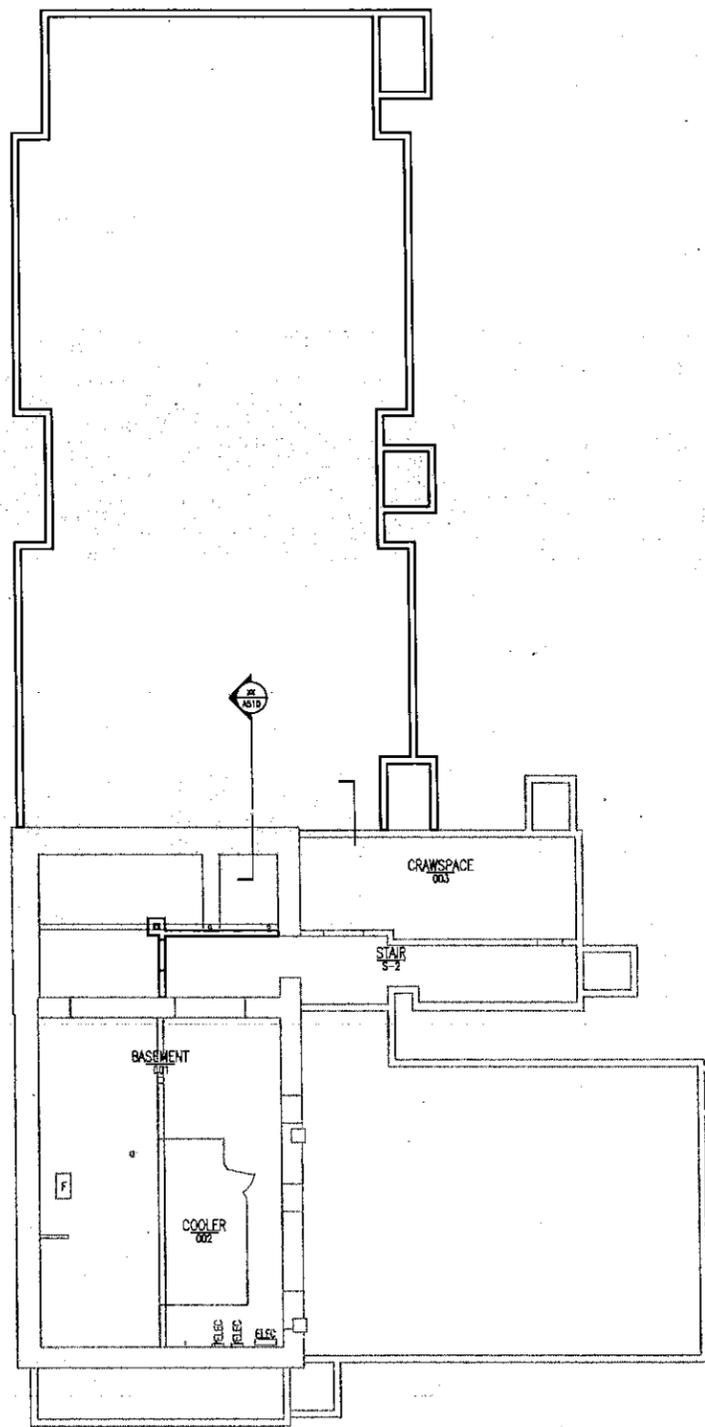
ARCHITECTURAL REVIEW DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER
19012

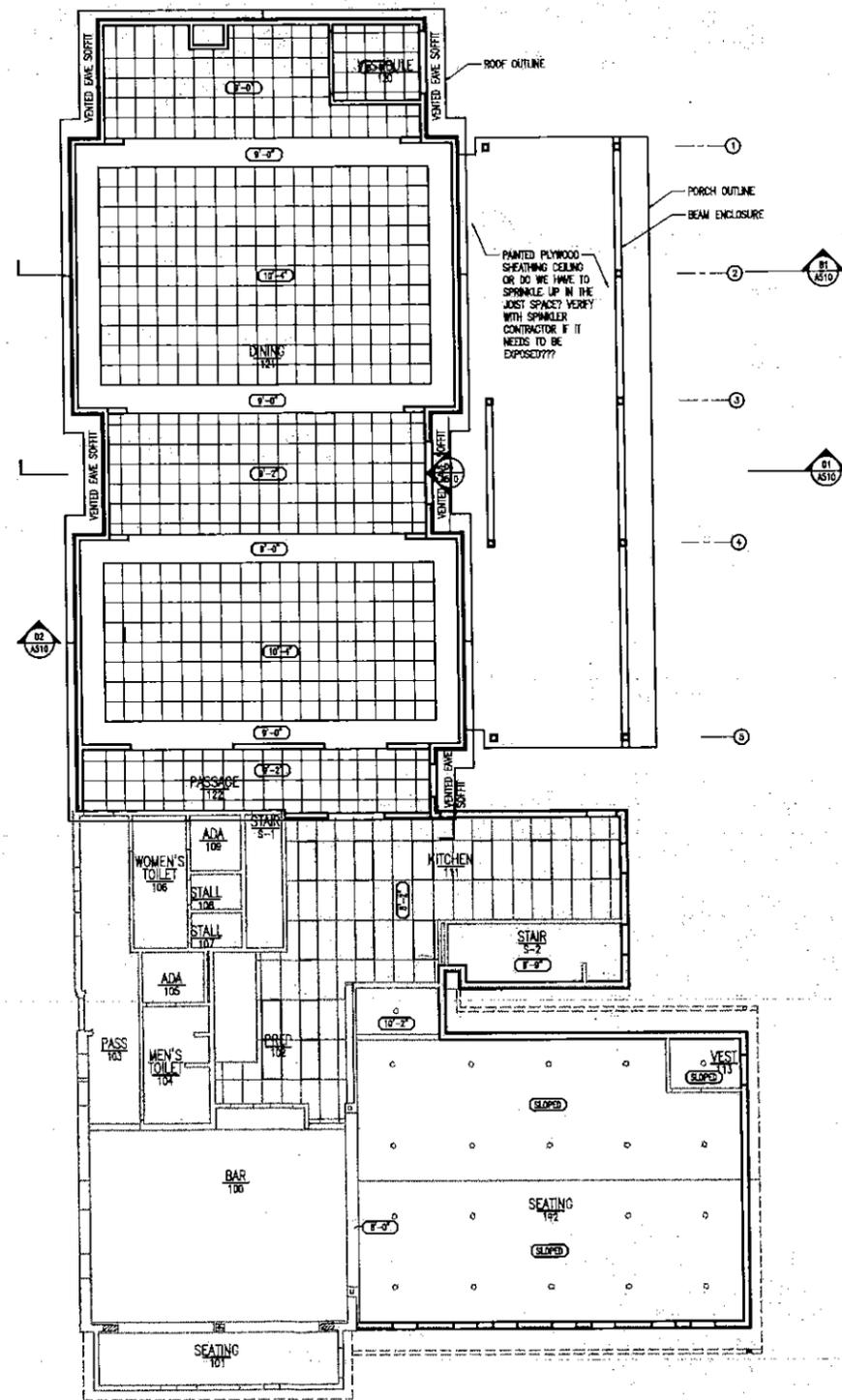
DATE
05-28-2026

DRAWING TITLE
BASEMENT FLOOR PLAN
FIRST FLOOR PLAN

A210



BASEMENT REFLECTED CEILING PLAN
1/8"=1'-0"



FIRST FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"

CEILING PLAN - SYMBOLS LEGEND

- 2'-0" X 4'-0" SUSPENDED EXPOSED GRID WITH LAY-IN ACOUSTIC CEILING PANELS.
- GYPSUM BOARD CEILING OR BULKHEAD
- CONSTRUCTION LIMITS
- RECESSED DOWN LIGHT
- CEILING HEIGHT

CEILING PLAN - GENERAL NOTES

- A. LIGHTING DESIGN BUILD BY OTHERS. DESIGN ASSUMES LAYIN 2X4 FIXTURES. LIGHTING SHOWN DIAGRAMMATICALLY FOR SCOPE PURPOSES ONLY.
- B. DESIGN BUILD HAD TO PROVIDE ACCESS PANELS TO OWNER FOR AREAS WHERE NEW OR ALTERED GYPSUM CEILINGS ARE SHOWN TO PROVIDE ACCESS TO HARD EQUIPMENT WHERE REQUIRED.



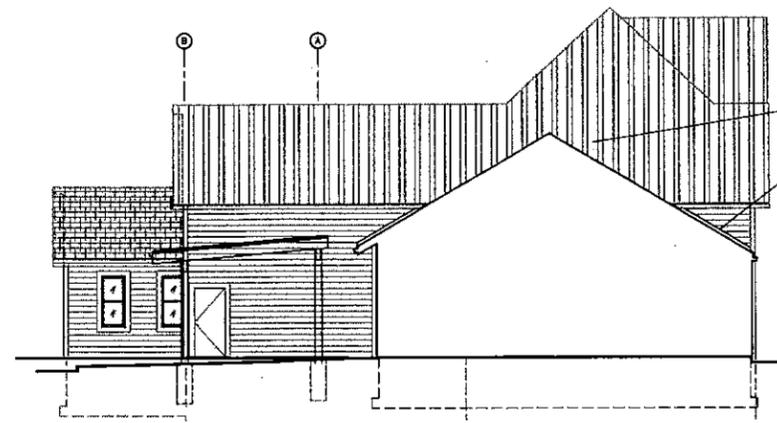
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CONSULTANT
 PROJECT TITLE AND LOCATION

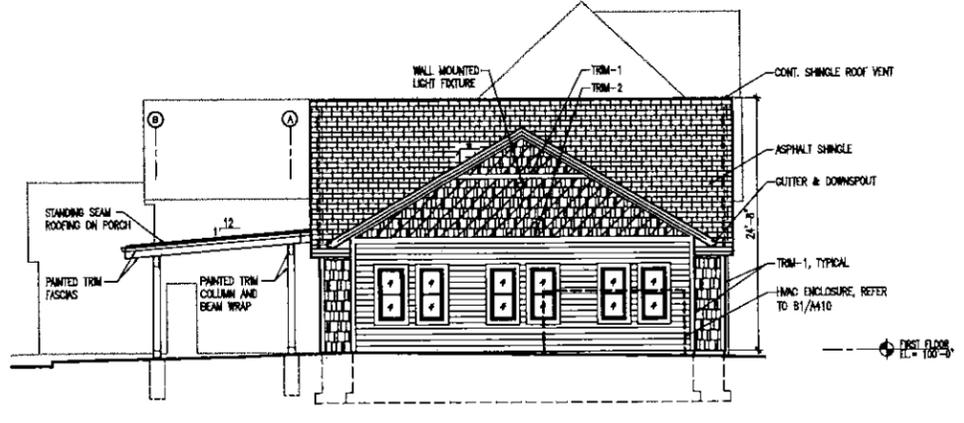
PHASE 2 Addition
 Pleasant Hill Bar
 2102 WI-164
 Richfield, Wisconsin 53076

REVISIONS
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PROJECT NUMBER
A310



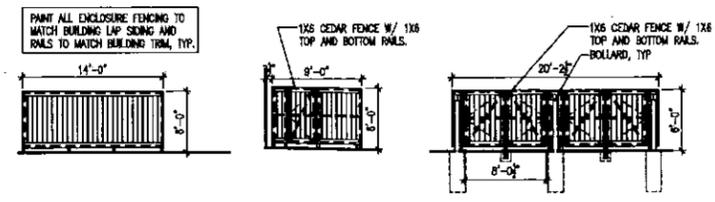
A1
A410 EXTERIOR ELEVATION
NORTH
1/8"=1'-0"



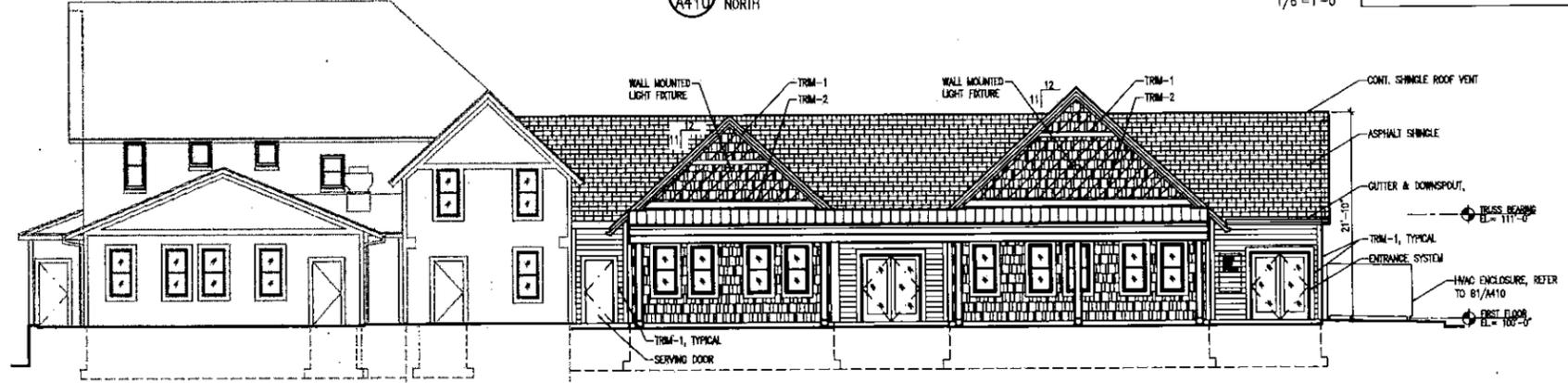
A4
A410 EXTERIOR ELEVATION
NORTH
1/8"=1'-0"

EXTERIOR ELEVATION - MATERIALS LEGEND

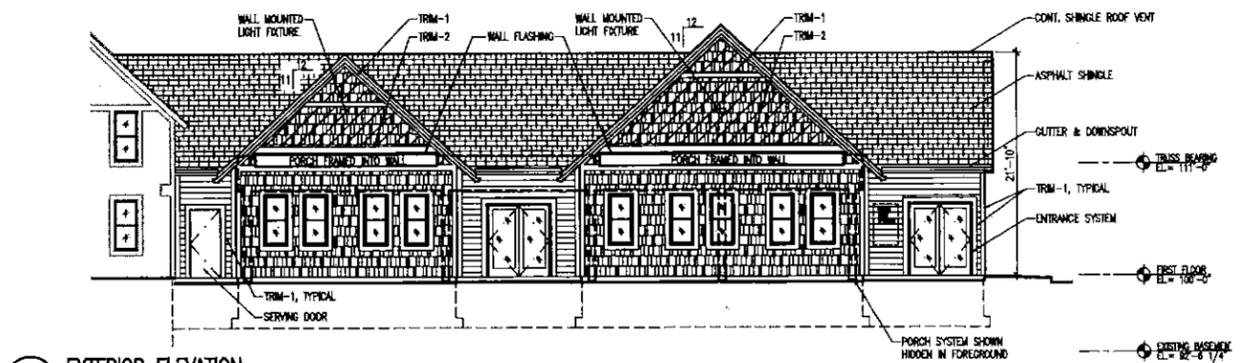
	SIDING-1: LP SHARPSIDE LAP SIDING, 8" LAP TO MATCH EXISTING, COLOR: SHERWIN WILLIAMS T80
	SIDING-2: LP SHARPSIDE STAGGER SHAKE SIDING, COLOR: SW 7019 GAUMLLET GRAY
	SIDING-3: LP SHARPSIDE STAGGER SHAKE SIDING, COLOR: SW 7020 BLACK FOX
	TRIM-1: LP 1/2" x 6" PROFILE, COLOR: SW 7004 SNOWBOUND, TYPICAL AT PERIMETER TRIM, WINDOW AND DOOR CASING
	TRIM-2: LP 1/2" x 8" PROFILE, COLOR: SW 7004 SNOWBOUND, USED ONLY AS HORIZONTAL TRIM AT WINDOW HEAD AT ROOF GABLE
	ROOFING-1: OWENS CORNING ARCHITECTURAL SHINGLE, COLOR: PEPPERHILL GRAY
	ROOFING-2: METAL ROOF, STANDING SEAM ALUMINUM TO MATCH EXISTING



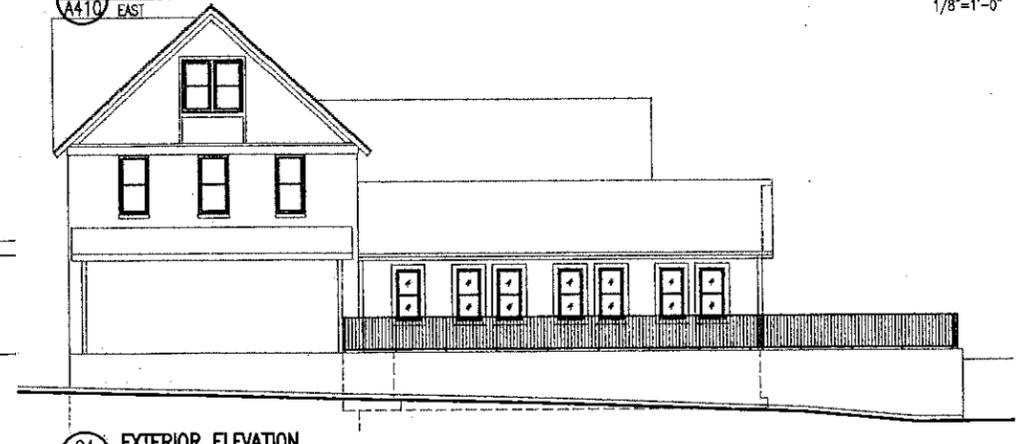
B1
A410 EXTERIOR ELEVATION
HVAC & DUMPSTER SCREENING ENCLOSURES
1/8"=1'-0"



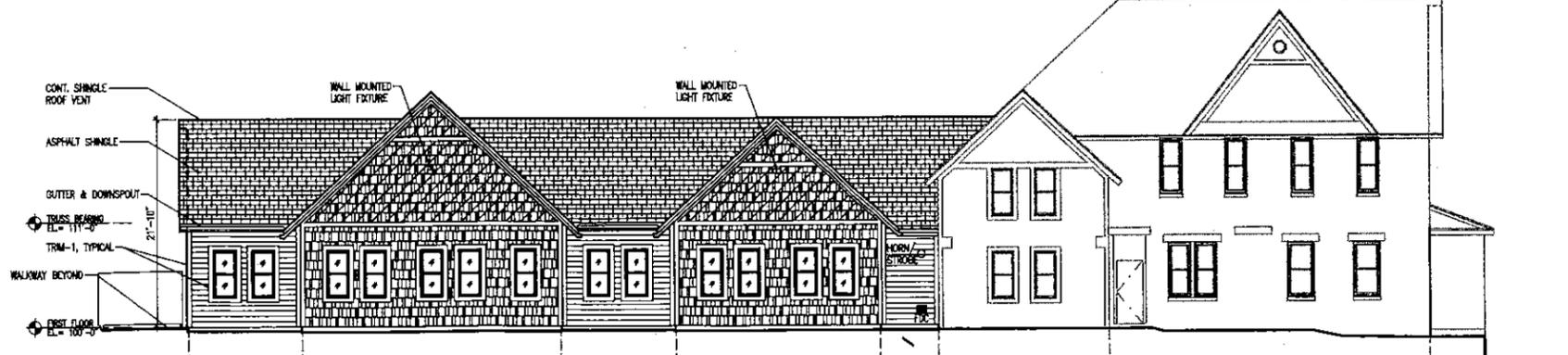
B4
A410 EXTERIOR ELEVATION
EAST
1/8"=1'-0"



C1
A410 EXTERIOR ELEVATION
EAST - SAME AS B4/A410 EXCEPT IT SHOWS FACE OF EXTERIOR WALL
1/8"=1'-0"



C4
A410 EXTERIOR ELEVATION
SOUTH
1/8"=1'-0"



D4
A410 EXTERIOR ELEVATION
WEST
1/8"=1'-0"



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PROJECT: HILLBAR
DATE: 05-29-2020
SHEET TITLE: EXTERIOR ELEVATIONS - FUTURE PHASE 2
SHEET NUMBER: A410

PHASE 2 Addition
Pleasant Hill Bar
2102 WI-164
Richfield, Wisconsin 53076

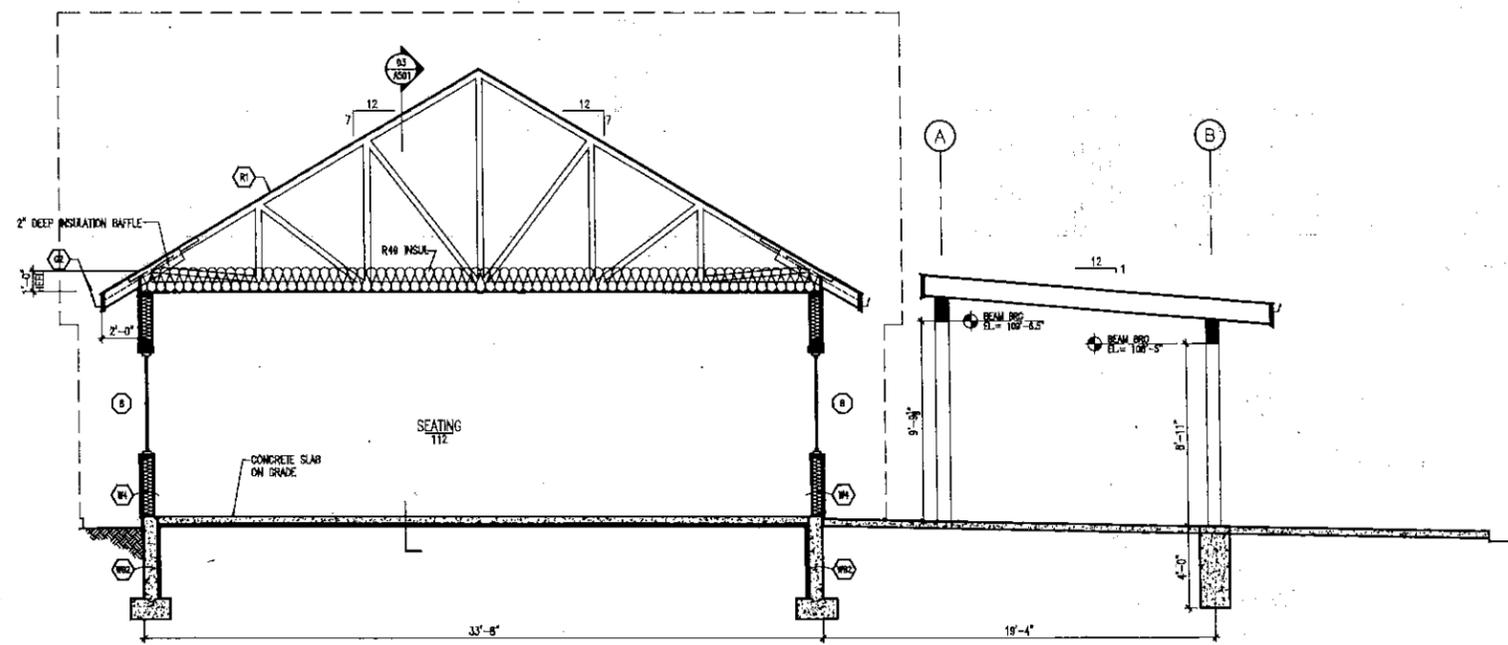
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WT TYPE
ARCHITECTURAL REVIEW DRAWING SET
FOUNDATION ARCHITECTS PROJECT NUMBER
19012
DATE
05-29-2020
SHEET TITLE
EXTERIOR ELEVATIONS - FUTURE PHASE 2
SHEET NUMBER
A410

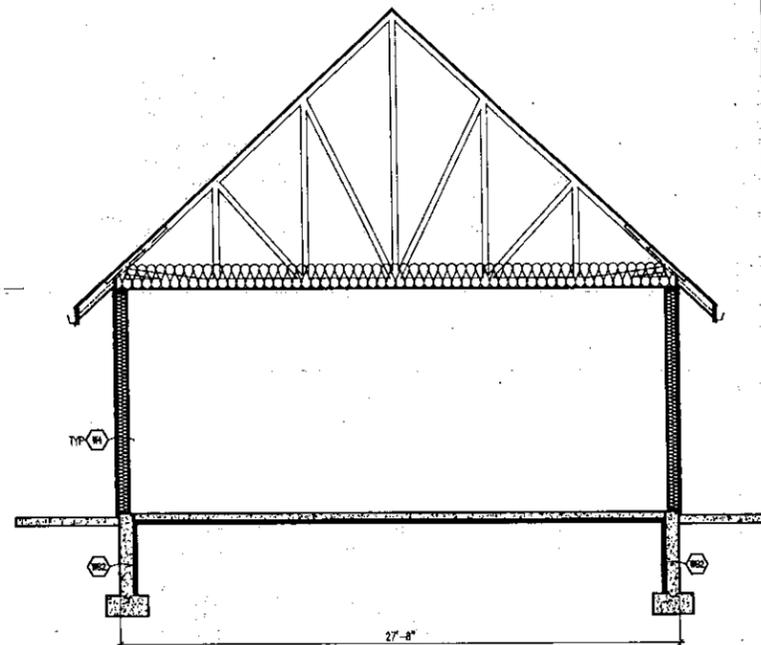


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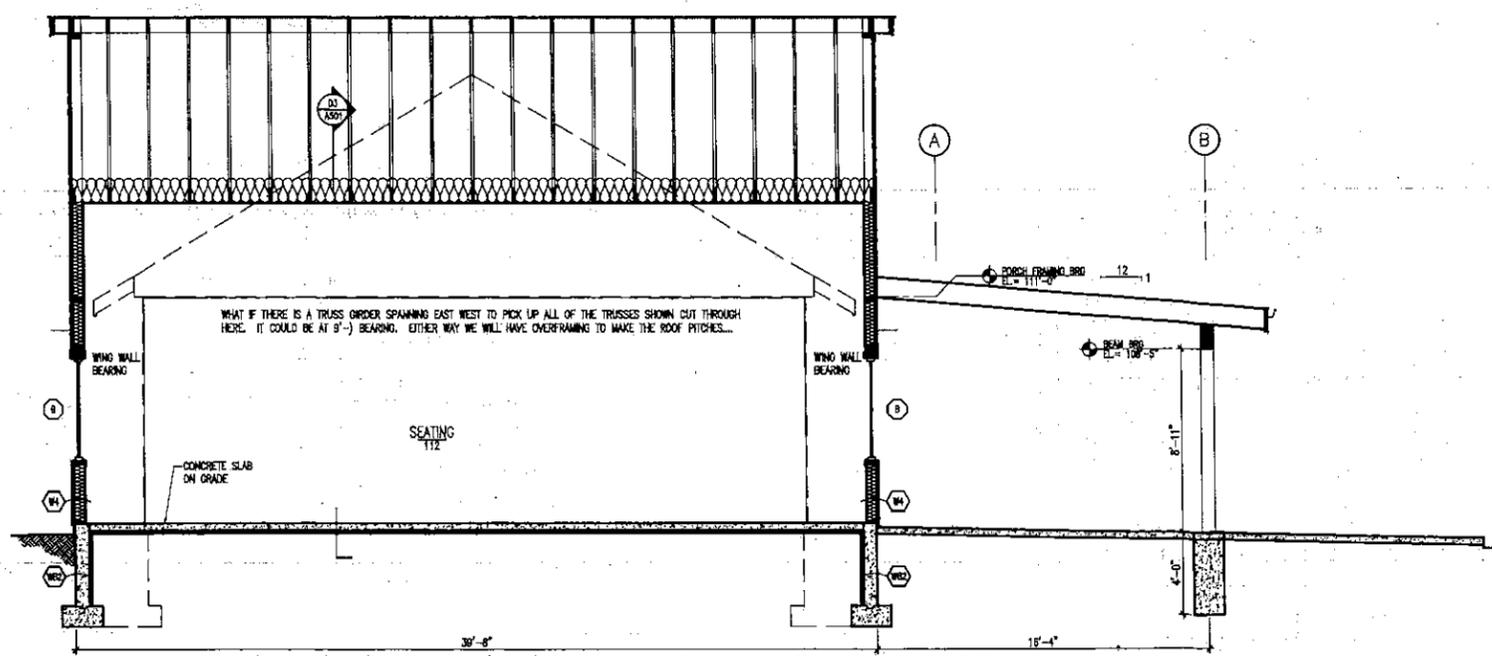
B1
A510 BUILDING SECTION THRU 7:12 PITCH TRUSSES
 LOOKING NORTH

1/4"=1'-0"



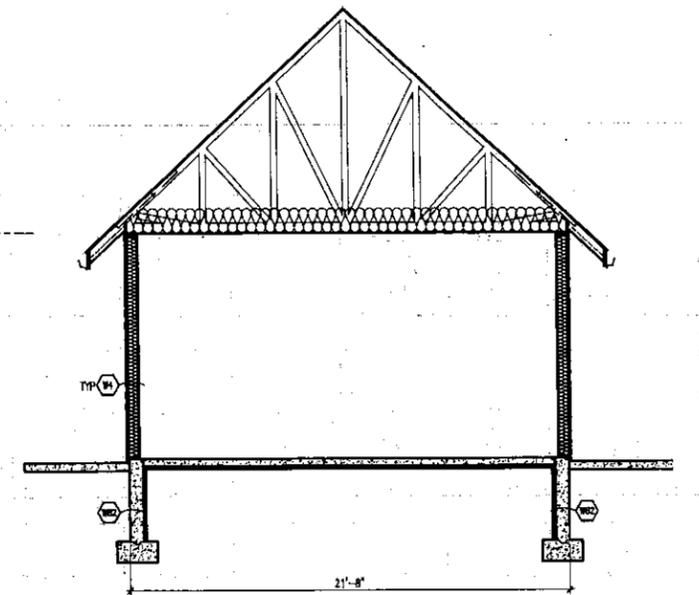
B4
A510 BUILDING SECTION THRU 11:12 PITCH TRUSSES
 LOOKING WEST

1/4"=1'-0"



D1
A510 CROSS SECTION AT 11:12 PITCH TRUSSES
 CENTER CROSS GABLE LOOKING NORTH

1/4"=1'-0"



D4
A510 BUILDING SECTION THRU 11:12 PITCH TRUSSES
 LOOKING WEST

1/4"=1'-0"

PHASE 2 Addition
Pleasant Hill Bar
 2102 WI-164
 Richfield, Wisconsin 53076

REVISION	
▲ 02-17-2020	ADDENDUM 2
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BY TYP	ARCHITECTURAL REVIEW DRAWING SET
PREPARED BY ARCHITECTS PROJECT NUMBER	15012
DATE	05-28-2020
SHEET TITLE	BUILDING SECTIONS
PROJECT NUMBER	A510

MATERIAL SCHEDULE				architecture : interior design FOUNDATION
CODE	PRODUCT	DESCRIPTION	MANUFACTURER	
CAST-IN-PLACE CONCRETE - DIVISION 3				
SCONC-1	Concrete - Sealer	Clear	3M	
ARCHITECTURAL WOODWORKING - DIVISION 6				
WD-1	Wood Veneer	TBD	TBD	
WB-1	Wood Casing & Base	* Profiled Wood Casing and Base Trim to match Existing	-	
FRP-1	Fiberglass Reinf. Plastic	85 White, Pebbled Embossed Glasbord w/Trim Accessories	Kemlite/Crane Composites	
ACOUSTICAL CEILING - DIVISION 9				
AC-1	Acoustical Ceiling	3270 White, Sheetrock Lay-In Dikma Plus - 24"x48"x1/2", w/Sq Edge Use with 15/16" White, Donn grid	USG	
TILE - DIVISION 9				
QT-1	Quarry Tile	Color TBD	TBD	
GR-1	Grout	Natural, Standard Series by Hydroment	Bostik	
RESILIENT FLOORING - DIVISION 9				
RST-1	Resilient Tread w/Integrated Riser	63 Burnt Umber VIRTR-SQ Raised Square Tread w/Tan Grit Tape	Johnsonite	
RB-1	Resilient Base	COLOR TBD, Rubber - 4" High Cove	Johnsonite	
RB-2	Resilient Base	COLOR TBD, Rubber - 2-1/2" High Cove	Johnsonite	
RUB-1	Rubber - Landing Tile	RT-63 Burnt Umber - SQ, Rubber w/raised Square - 24"x24"	Johnsonite	
C-1	Walk-Off Mat	TBD	TBD	
VCT-1	Vinyl Composition Tile	Color TBD - 12"x12"x1/8"	TBD	
	Subfloor Leveler System	Black, Reduce height to 0 at transition	Johnsonite	
		* Provide Transition Strip TBD by Johnsonite		
PAINT - DIVISION 9 (Room Finish Schedule designations: PAF=FLAT, PAS=SEMI-GLOSS, PAT=SATIN)				
PA-1	Paint	Decorators White	Benjamin Moore	
PA-2	Paint	* Wall color to match existing	-	
PA-3	Paint	* Wood casing color to match existing	-	
PA-4	Paint	* Wood base color to match existing	-	
STN-1	Stain	* Custom color to match Architect sample	-	

ROOM FINISH SCHEDULE												architecture : interior design FOUNDATION
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	NORTH	EAST	SOUTH	WEST	CEILING	TYPE	NOTES	
BASEMENT												
001	PUMP ROOM	SCONC-1/RST-1	EXST	EXST/GYP	-	-	-	-	GYP BD	-	TBD	
FIRST FLOOR												
S-1	STAIR	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	1,2,3,4,5	
103	PASSAGE	EXST	EXST	EXST	PAT-2	EXST	EXST	EXST	EXST	EXST	1,2,3,4,5	
111	KITCHEN	EXST	QT-1	GYP BD	FRP-1	EXST	EXST	EXST	EXST	AC-1	1,2,3,4,5	
120	VESTIBULE	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
121	DINING	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	SUSP/GYP BD	AC-2/PAF-1		
122	PASSAGE	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	SUSP	AC-2		
SECOND FLOOR												
S-1	STAIR	EXST	EXST	-	-	-	-	-	EXST	EXST		
S-3	STAIR	EXST	EXST	-	-	-	-	-	EXST	EXST		
200	OFFICE SUITE	VINYL PLANK	WB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
201	STORAGE	PLYWOOD	WB-1	EXST/GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
211	EQUIPMENT PLATFORM	EXST	EXST	-	-	-	-	-	EXST	EXST		

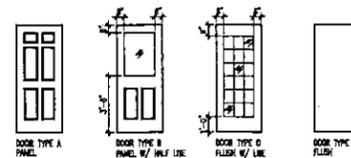
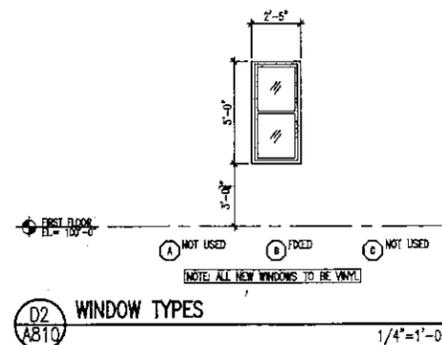
GENERAL NOTES

- * Provide transition strips at all changes in floor finish.
- * PAF = Paint with Flat Finish, PAT = Paint with Satin Finish, PAS = Paint with Semi-Gloss Finish, PAG = Paint with Gloss Finish
- * Paint all surfaces of GYP Soffit color designated, TYP.
- * All ductwork, hangers, supports and conduit that can be seen from any angle is to be painted.
- * All wood doors and door frames to be painted per door schedule.
- * All electrical and HVAC equipment to be painted out to match wall and/or ceiling.

ROOM FINISH NOTES

- 1 Patch floor to match existing.
- 2 Patch ceiling to match existing.
- 3 Patch wall to match existing finishes.
- 4 Patch wall base and shoe molding to match existing profile and finishes.

DOOR SCHEDULE												architecture : interior design FOUNDATION
DOOR #	ROOM #	ROOM NAME	SIZE (W x H)	TYPE	MAT'L	FINISH	GLASS	FRAME MAT'L	FRAME FINISH	HG	RATING	NOTES
FIRST FLOOR												
S-1	S-1	STAIR	3'-0" X 6'-8"	A	WD	PREF	-	WD	PAS-3	5	-	2
103.1	103	PASSAGE	3'-0" X 6'-8"	B	WD	PAS-3	MG	WD	PAS-3	4	-	2
111.1	111	KITCHEN	6'-0" X 6'-8"	D	PLAS	PREF	-	ALUM	PAS-3	7	-	5
120.1	120	VESTIBULE	3'-0" X 6'-8"	C	ALUM	PREF	IG	ALUM	PAS-3	2	-	4
120.2	120	VESTIBULE	3'-0" X 6'-8"	C	ALUM	PAS-3	MG	ALUM	PAS-3	3	-	4
121	121	DINING	3'-0" X 6'-8"	C	WD	PREF	IG	WD	PREF	2	-	4
122	122	PASSAGE	3'-0" X 6'-8"	C	WD	PREF	IG	WD	PAS-3	1	-	1
SECOND FLOOR												
200.1	200	OFFICE SUITE	3'-0" X 6'-8"	D	WD	PAS-3	-	WD	PAS-3	6	-	2
200.2	200	OFFICE SUITE	3'-0" X 6'-8"	D	WD	PAS-3	-	WD	PAS-3	6	-	2
NOTES:												
1	Prehung Prefinished Insulated Exterior Steel Door by Mastercraft											
2	Paint Grade Interior Door											
3	NOT USED											
4	Aluminum Entrance System, Full Lite											
5	Eliason or Equal, Opposing Kitchen Doors, With Standard Window											



HARDWARE GROUPS

- | | | | | | | |
|---|--|--|---|--------------------------------|--------------------------------------|-------------------------------|
| HG1
BUTTS
LOCK
DEADBOLT - THUMBTURN
CLOSER - SPRING CUSH w/ HOLD OPEN
KICKPLATE
THRESHOLD
WEATHERSTRIPPING | HG2
PIVOT HINGES
PUSH/PULL BARS
KEYED CYL. W/THUMBTURN
CLOSER - SPRING CUSH w/ HOLD OPEN
MANUAL CONCEALED FLUSH BOLTS
KICKPLATE
THRESHOLD
WEATHERSTRIPPING
SWEEPS | HG3
PIVOT HINGES
PUSH/PULL BARS
CLOSER - SPRING CUSH w/ HOLD OPEN | HG4
BUTTS
LEVER
CLOSER - SPRING CUSH
KICKPLATE
WALL STOP | HG5
BUTTS
LOCK
CLOSER | HG6
BUTTS
PRIVACY
WALL STOP | HG7
PIVOTS
MFR HARDWARE |
|---|--|--|---|--------------------------------|--------------------------------------|-------------------------------|



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SCALE 1/4" = 1'-0"

PHASE 2 ADDITION

PHASE 2 Addition
Pleasant Hill Bar
2102 WI-164
Richfield, Wisconsin 53076

REVISION



NET TYPE
ARCHITECTURAL REVIEW DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER
19012

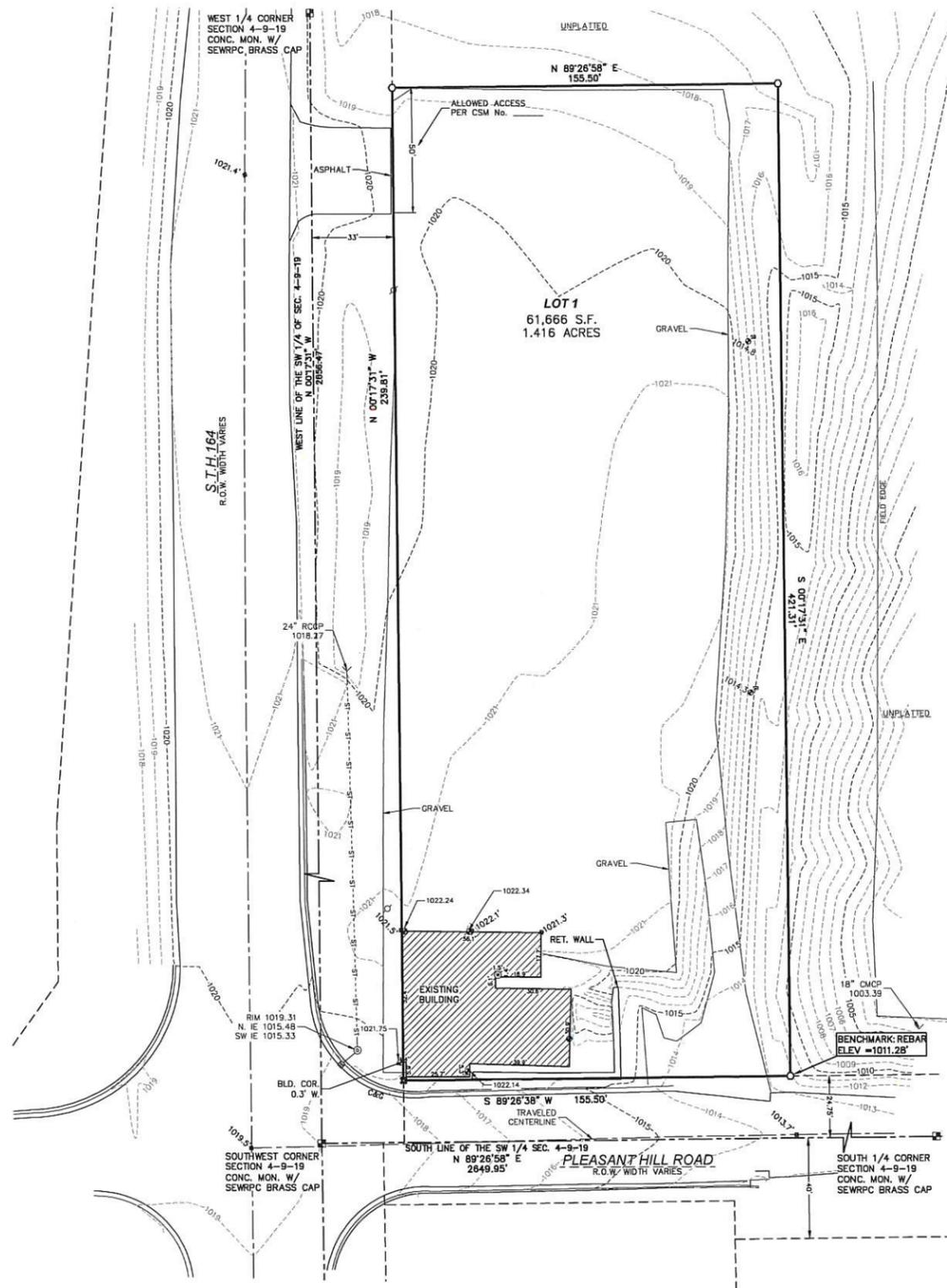
DATE
05-29-2020

NET TITLE
ROOM FINISH MATERIAL AND DOOR
SCHEDULES, HARDWARE GROUPS

NET NUMBER

A810

PLAT OF SURVEY
 LOT 1 OF CERTIFIED SURVEY MAP No. XXXXX LOCATED IN THE SOUTHWEST 1/4 OF THE
 SOUTHWEST 1/4 OF SECTION 4, TOWN 9 NORTH, RANGE 19 EAST, VILLAGE OF RICHFIELD,
 WASHINGTON COUNTY, WISCONSIN.



- NOTES:**
- A TITLE COMMITMENT WAS NOT PROVIDED. AN ADDITIONAL SEARCH FOR EASEMENTS OF RECORD HAS NOT BEEN COMPLETED.
 - T.L.E. PER CSM
 - VERTICAL DATUM IS NGVD 29



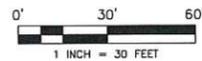
BEARINGS BASED ON GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE GRID (NAD 27) AND REFERENCED TO THE SOUTH LINE OF THE SW 1/4 OF SEC. 4-9-19 PUBLISHED BY SEWRPC AS N 89°26'58" E.

LEGEND	
□	SECTION CORNER MONUMENT
○	FOUND 3/4" REBAR
✕	FOUND CHISELED X
▣	CURB INLET
⊙	STORM MANHOLE
<	CULVERT AS NOTED
◆1016.5'	EXISTING SPOT GRADE
⊕	FIRST FLOOR ELEVATION
⊙	SOIL BORE
⊙	UTILITY POLE

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



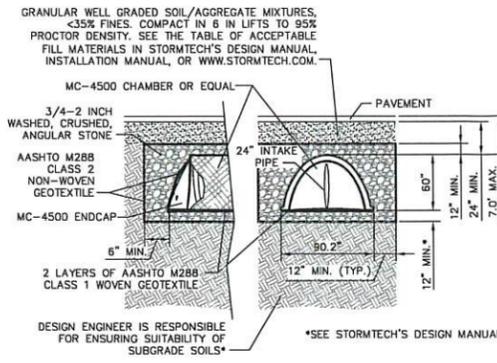
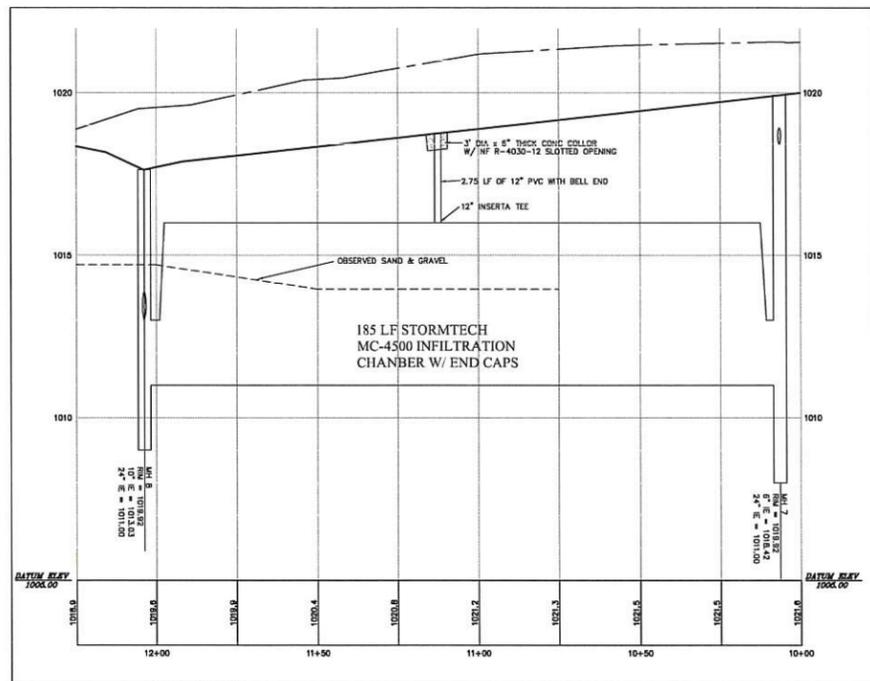
LandTech
 SURVEYING & LAND PLANNING
 LAND SURVEYING • LAND PLANNING
 1000 N. MONROE ST., WISCONSIN
 WISCONSIN, WI 53066
 WWW.LANDTECHWI.COM
 (262) 367-7599

REV. 4/26/2020 FL. ELEVATIONS, BORINGS	2102-2108 STH 164 RICHFIELD, WI
REV. 5/18/2020 SITE TOPO. BLD ADDITIONS	
REV.	
REV.	
REV.	
DRAWN BY MTO	CHECKED BY JDD

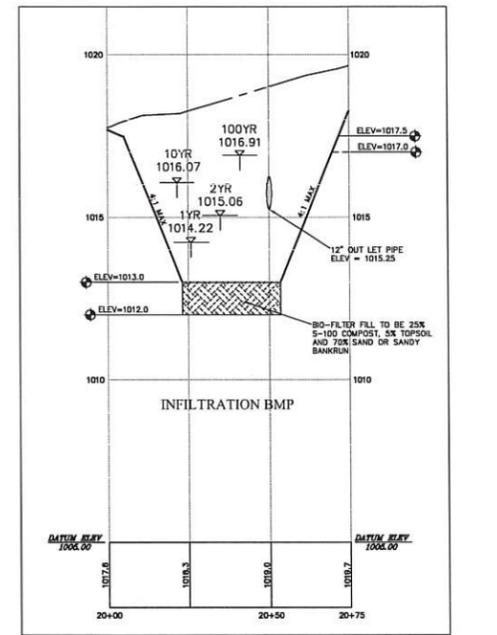
CLIENT	J. LOOSEN
PROJECT	TOPO/BOUNDARY
LAYOUT	PLAT OF SURVEY
DRAWING	18165 SURVEY.DWG



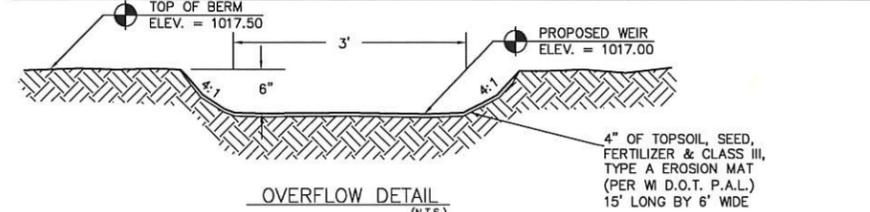
SCALE	1:30
DATE	11/19/2019
JOB NO.	18165
SHEET	1 OF 1



INFILTRATION CHAMBERS CROSS-SECTION
STORMTECH MC-4500 OR EQUAL
N.T.S.



INFILTRATION BMP
N.T.S.



OVERFLOW DETAIL
N.T.S.

BMP 1 NOTES
ROUGH GRADE BASIN ALONG WITH ROUGH GRADING SITE. DIG BOTTOM OF BASIN TO AN ELEVATION OF 1013.50. INSTALL OUTLET PIPE. ONCE BASIN IS ROUGH GRADED, TOPSOIL, SEED AND EROSION MAT SIDE SLOPES. (TOPSOIL 6" MIN. SIDE SLOPES EROSION MAT TO BE CLASS I TYPE B (WIDOT PAL)) ONCE SIDE SLOPES ARE RESTORED & MATTED, AND 80% OF THE SITE STABILIZED, CLEAN BOTTOM OF FILTER TO AN ELEVATION OF 1012.75, PLACE 3" S100 COMPOST AND 1" OF TOPSOIL AND MIX TO AN ELEVATION OF 1' DEEP. RESTORE BOTTOM OF INFILTRATION AREA NATIVE PLANTINGS (REINDERS SHORT PRAIRE WLD FLOWER MIX OR EQUAL) PER MANUFACTURERS RECOMMENDATIONS

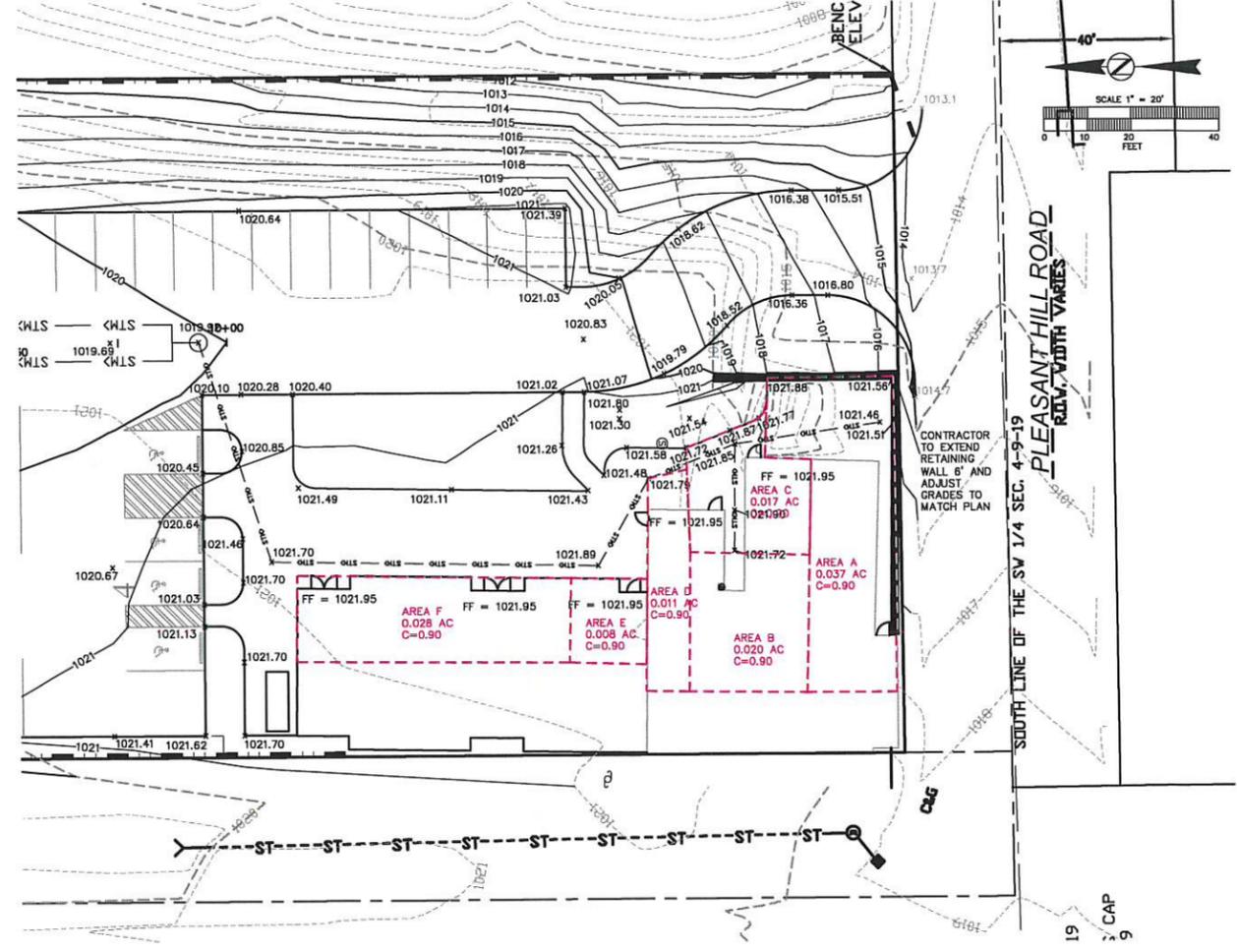
CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE WISCONSIN DNR'S STORM WATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS.
ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE MONITORED DAILY FOR STABILITY AND OPERATION AND REPORTED AT LEAST ONCE PER WEEK AND FOLLOWING EVERY 0.5" RAINFALL.
ALL INLET PROTECTION TO CONFORM TO EITHER WDOT PAL LIST OR WDNR T.S. 1060
DUST CONTROL TO FOLLOW WDNR T.S. 1068
ALL RESTORATION TO BE IN ACCORDANCE WITH WDNR'S CONSERVATION PRACTICE STD 1059. CUT AND FILL SLOPES WILL BE 4:1 OR FLATTER

RESTORATION AREAS TO BE TOP SOILED (4" MIN), (IF GRADED), SEEDED, FERTILIZED, AND MULCHED UNLESS OTHERWISE NOTED. ON SLOPES 4:1 OR STEEPER CLASS I TYPE B (WSDOT PAL) EROSION MAT REQUIRED.
IF THE SITE OR PORTIONS OF THE SITE ARE TO REMAIN INACTIVE FOR GREATER THAN 14 DAYS TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING OR MULCHING SHALL BE TAKEN WITHIN 7 DAYS FROM THE SITE BEING LEFT INACTIVE.

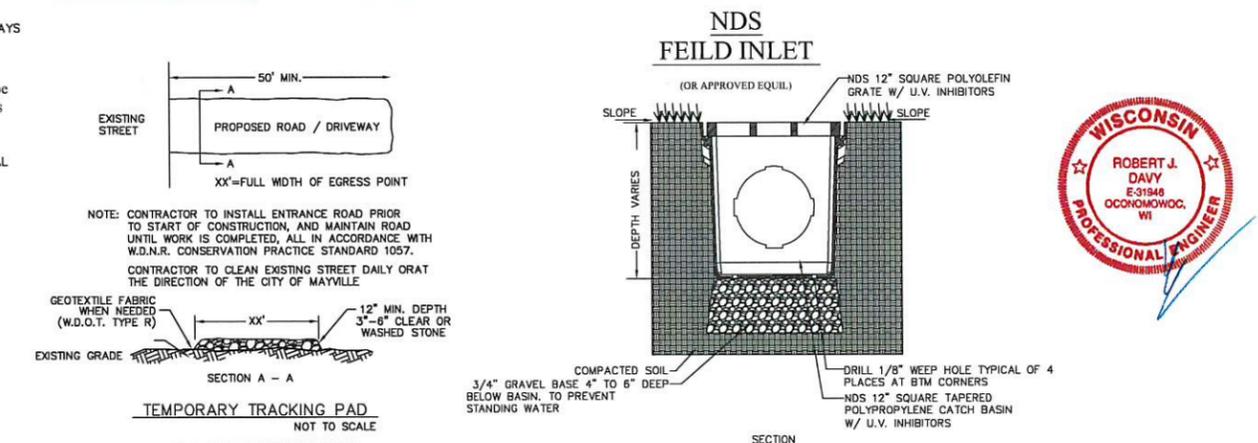
LATE SEASON STABILIZATION BETWEEN OCTOBER 15TH AND NOVEMBER 15TH (Implementation plan to be submitted by October 1st if needed)
For areas not stabilized by October 15, erosion risks are high and additional erosion control measures and oversight are required, as described below. Temporary seeding must still be done, but fall germination and survival may be very limited. For perennial plants, dormant seeding should be done between October 20 and November 15. This means seed germination is planned for the following spring. To offer more protection from soil erosion during this period, topsoil, seed and fertilize all disturbed areas by November 15 in accordance with the following:

- SEEDING RATE:** PERENNIAL SEED MIX RATE MUST BE APPLIED AT 1.5 x THE WSDOT SECTION 630 RATES AND MUST INCLUDE A MINIMUM OF 2 LBS PER 1000 SQ.FT. OF TEMPORARY COVER (IE WINTER WHEAT OR ANNUAL RYE GRASS FOR FALL PLANTINGS).
- Erosion Control:** In addition to applying topsoil, the above noted seed mix and starter fertilizer, the following are minimum requirements for stabilizing sites during this period. Approved erosion control plans may be more restrictive:
 - Channel Flow (roadside swales, etc.) and Back slopes:** Apply Type A soil stabilizer and staked PAL Class 3 erosion matting over the entire channel (up to the 10 year storm flow rate) and Class 1 all back slopes (see grading plan for locations).
 - Other Areas:** Apply Type A Soil Stabilizer from the WisDOT Product Acceptability List to all other disturbed areas that remain exposed.
 - Infalls/Outfalls:** Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.
- Maintenance:** Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- Reports** shall include the following information:
 - Detailed status of all land disturbing and stabilization activities as of the day of the report.
 - Results of erosion control site inspections since October 15 or the previous report, whichever is shorter.
 - Any erosion control failures encountered and actions taken to rectify.
 - Projections for completion of all stabilization activities, including a 10-day plan based on the latest weather predictions.

SEED TYPE TO BE TURF TYPE. RATE TO BE APPLIED PER MANUFACTURERS RECOMMENDATIONS. (OTHER THAN NOTED ON PLAN FOR BMP RESTORATION)
CONTRACTOR TO FOLLOW STANDARD PROCEDURES FOR SPILL PREVENTION AND RESPONSE
ALL UTILITIES TO BE INSTALLED PER THE STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN LATEST ADDITION
GRADING AND PAVING PER STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION LATEST EDITION
PROOF-ROLLING SHALL BE COMPLETED PRIOR TO PLACING BASE COURSE



CLEARVIEW																			
INCR. AREA (acres)	UPPER STRUCTURES from	LOWER TO	AREA (acres)	INCR. C	AVG. "C"	CA	I (in/hr)	Q-DESIGN (cfs)	Q-DESIGN (gpm)	L (ft)	S (FT/FT)	n	DIA (in)	Q-CAP (cfs)	VEL (FPS)	Q-CAP (gpm)	Tt (min)	Tc (min)	
NORTH STORM																			
1	0.17	1	2	0.17	0.90:0.90	0.15	4.87	0.75	134.60	120.0	0.0063	0.013	12	2.83	3.6	1771.93	0.0	12.0	
2	0.09	2	3	0.26	0.90:0.90	0.23	4.78	1.12	502.18	120.0	0.0100	0.013	12	3.57	4.5	1601.48	0.6	12.6	
3	0.08	2	3	0.34	0.90:0.90	0.31	4.71	1.44	647.09	130.0	0.0100	0.013	12	3.57	4.5	1601.48	0.4	13.0	
5	0.02	1	2	0.02	0.90:0.90	0.02	4.87	0.09	39.36	55.0	0.0050	0.010	10	2.02	3.7	905.81	0.0	12.0	
4	0.05	2	3	0.41	0.90:0.90	0.37	4.64	1.71	768.16	86.0	0.0203	0.013	12	5.09	6.5	3283.18	0.5	13.5	



TEMPORARY TRACKING PAD
NOT TO SCALE

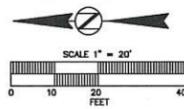
SIEVE SIZE	% BY WEIGHT PASSING
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

NOTES:
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
2. RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION
3. DO NOT USE OVER 5 RISERS WITH CATCH BASIN
4. INSTALLATION TO BE COMPLETE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
5. DO NOT SCALE DRAWING
6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

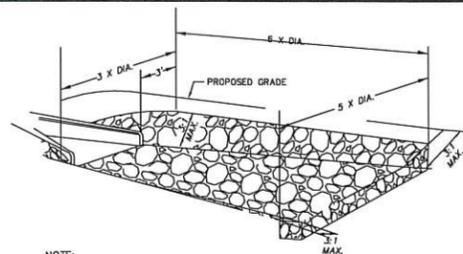
Lake Country Engineering, Inc.
Consulting Engineers - Surveyors
970 S. Silver Lake Street, Suite 105, Crosswicks, WI 53006
Phone: (262) 569-9331 Fax: (262) 569-9316 DATE: JUNE 17, 2020

PROPOSED SITE PLAN
STH "164" & PLEASANT HILL RD.
PLEASANT HILL MANAGEMENT LLC
S4, T9N, R19E, V0 RICHFIELD WASHINGTON CO. WI

PROJECT # 20-3351
SHEET # 4 OF 4



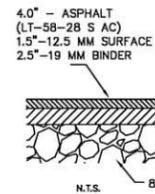
PROPOSED SIGHT CONDITIONS
 61,666 S.F. (1.416 AC)
 EX BUILDING 3,350 S.F. (0.08 AC)
 PR BUILDING 3,011 S.F. (0.07 AC)
 TOTAL BUILDING = 6,361 (0.15 AC) (10.6%)
 OTHER IMP. 37,430 S.F. (0.86 AC)
 TOTAL IMP. 43,791 S.F. (1.00 AC) (71.0%)
 PR. GREEN SPACE = 17,875 S.F. (0.41 AC) (29.0%)
 PROP. TOTAL PARKING STALLS = 87
 INCLUDING 4 HANDI CAP STALLS



NOTE:
 PRIOR TO PLACEMENT OF RIP-RAP, THE DISCHARGE CHANNEL SHALL BE GRADED, SHAPED AND LINED WITH GEO-FABRIC (PHILLIPS BNP UVX OR EQUAL), PLACE 18" OF MEDIUM RIP-RAP UNLESS OTHERWISE INDICATED ON PLANS.

CULVERT OUTFALL - RIP-RAP OR T.R.M.DETAIL

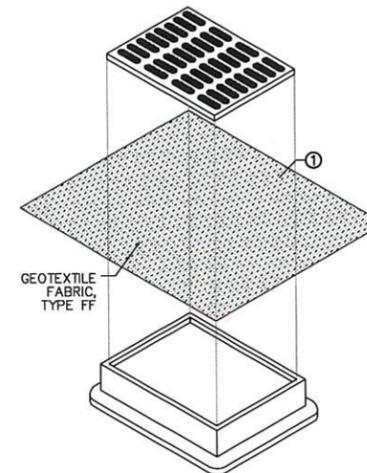
NOT TO SCALE



PROPOSED DRIVE AND PARKING PAVEMENT DETAIL

LEGEND

- ELETRIC PESTAL
- PROPOSED RETAINING WALL GRADES
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- SILT FENCE
- DITCH CHECK
- 864--- EXISTING 1' CONTOURS
- 865--- EXISTING 5' CONTOURS
- 864--- FUTURE 1' CONTOURS
- 865--- FUTURE 5' CONTOURS
- TREE DRIP LINES
- 864.6 EXISTING SPOT GRADES
- 864.66 PROPOSED SPOT GRADES
- BURRIED TELEPHONE LINE
- BURRIED ELETRIC LINE
- BURRIED GAS LINE
- --- EXISTING SANITARY SEWER
- --- EXISTING WATER MAIN
- --- EXISTING STORM SEWER



INLET PROTECTION - TYPE B
 (WITHOUT CURB BOX) N.T.S.

THIS DRAWING BASED ON WI D.O.T. STANDARD DETAIL DRAWING B E 10-2

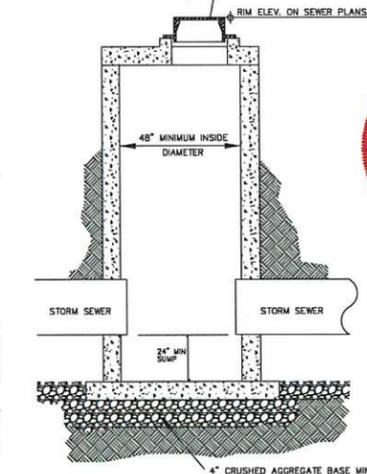
GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WI D.O.T.'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST (P.A.L.) MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

INSTALLATION NOTES - TYPE B

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

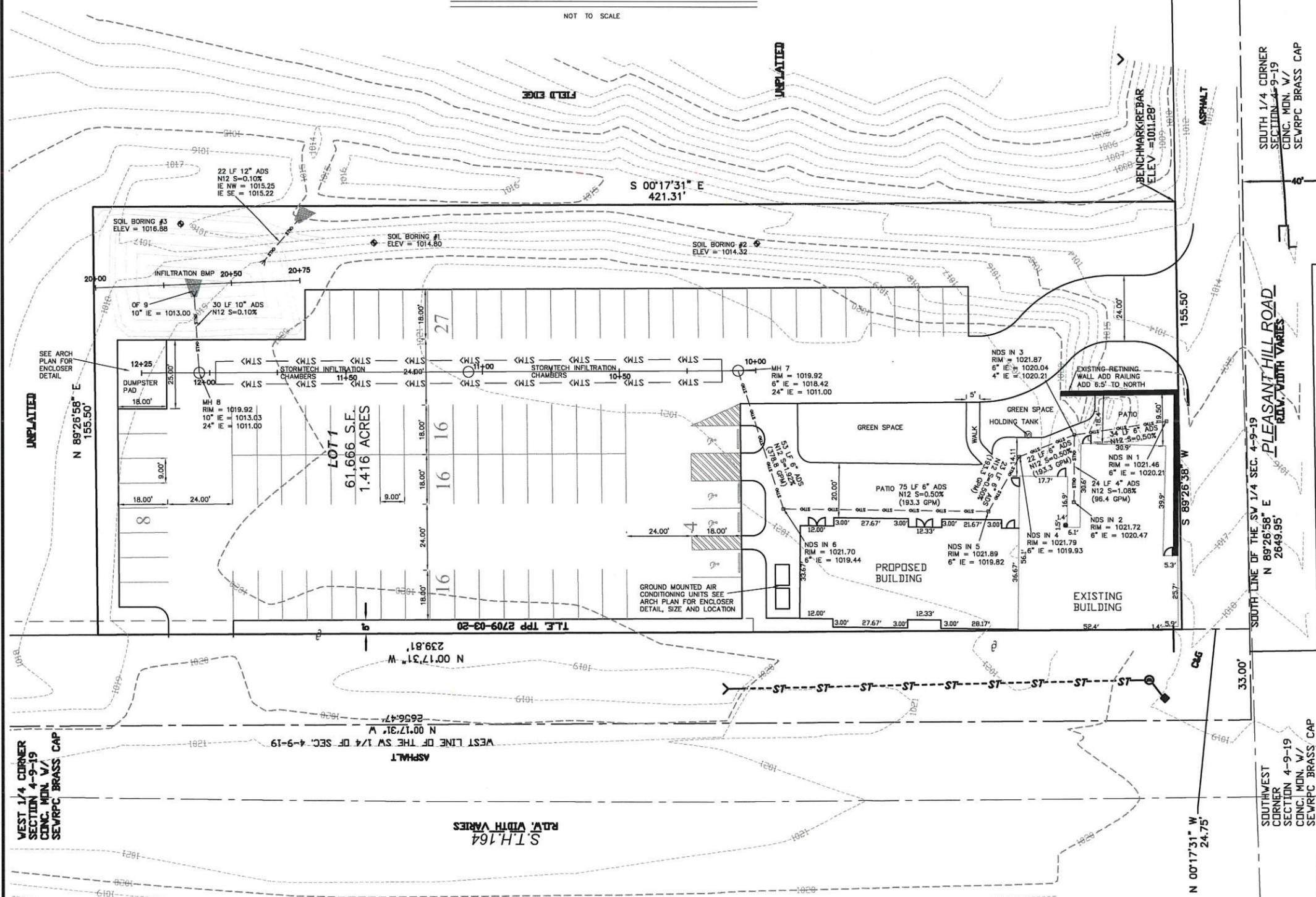
MANHOLE FRAME AND COVERS SHALL BE KEENAH R-2501-C.



NOTE: MANHOLE SUPPLIER TO PROVIDE SHOP DRAWINGS FOR ALL MANHOLES PRIOR TO PRE-CONSTRUCTION MEETING.

TYPICAL MANHOLE DETAIL

NOT TO SCALE



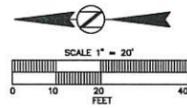
REVISION DATE	REMARKS

SCALE: 1" = 20'
 DRAWN BY: RJD
 CHECKED BY: RADAY
 DATE: JUNE 17, 2020

Lake Country Engineering, Inc.
 Consulting Engineers - Surveyors
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
 Phone (262) 569-9331 Fax (262) 569-9316

PROPOSED SITE PLAN STORM SEWER
 STH "164" & PLEASANT HILL RD.
 PLEASANT HILL MANAGEMENT LLC
 S4, T9N, R19E, V0 RICHFIELD WASHINGTON CO. WI

PROJ. # 20-3351
 SHEET # 2 OF 4



CONSTRUCTION SEQUENCE

- 1) INSTALL ALL EROSION CONTROL MEASURES. (INCLUDING SILT FENCE INLET PROTECTION, AND TRACKING DRIVE)
 - 2) GRADE BASIN (TO BE USED AS SEDIMENT TRAP) PLACING DIRT WHERE NEEDED ON SITE.
 - 3) ONCE BASIN HAS BEEN GRADED INSTALL OUTLET PIPE, AND RESTORE SIDE SLOPES WITH SEED FERTILIZER AND E-MAT ABOVE THE ENGINEERED FILL LEVEL
 - 4) GRADE REMAINDER OF SITE TO ALLOW FOR BUILDING TO BE BUILT
 - 5) INSTALL UTILITIES
 - 6) FINE GRADE DRIVES AND PARKING AREAS AND PROOF ROLL
 - 7) STONE BUILDING PADS AND DRIVES
 - 8) START BUILDING BUILDINGS
 - 9) ONCE BUILDINGS BUILT FINE GRADE SITE, INSTALL HARDSCAPES AND PAVE DRIVES
 - 10) FINALIZE STORM WATER BMP'S AND RESTORE SITE
- ONCE SITE HAS BEEN VEGETATED, AND VILLAGE HAS APPROVED REMOVE SILTFENCE.

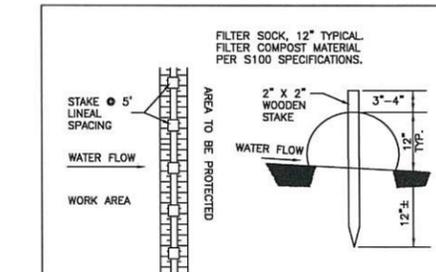
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



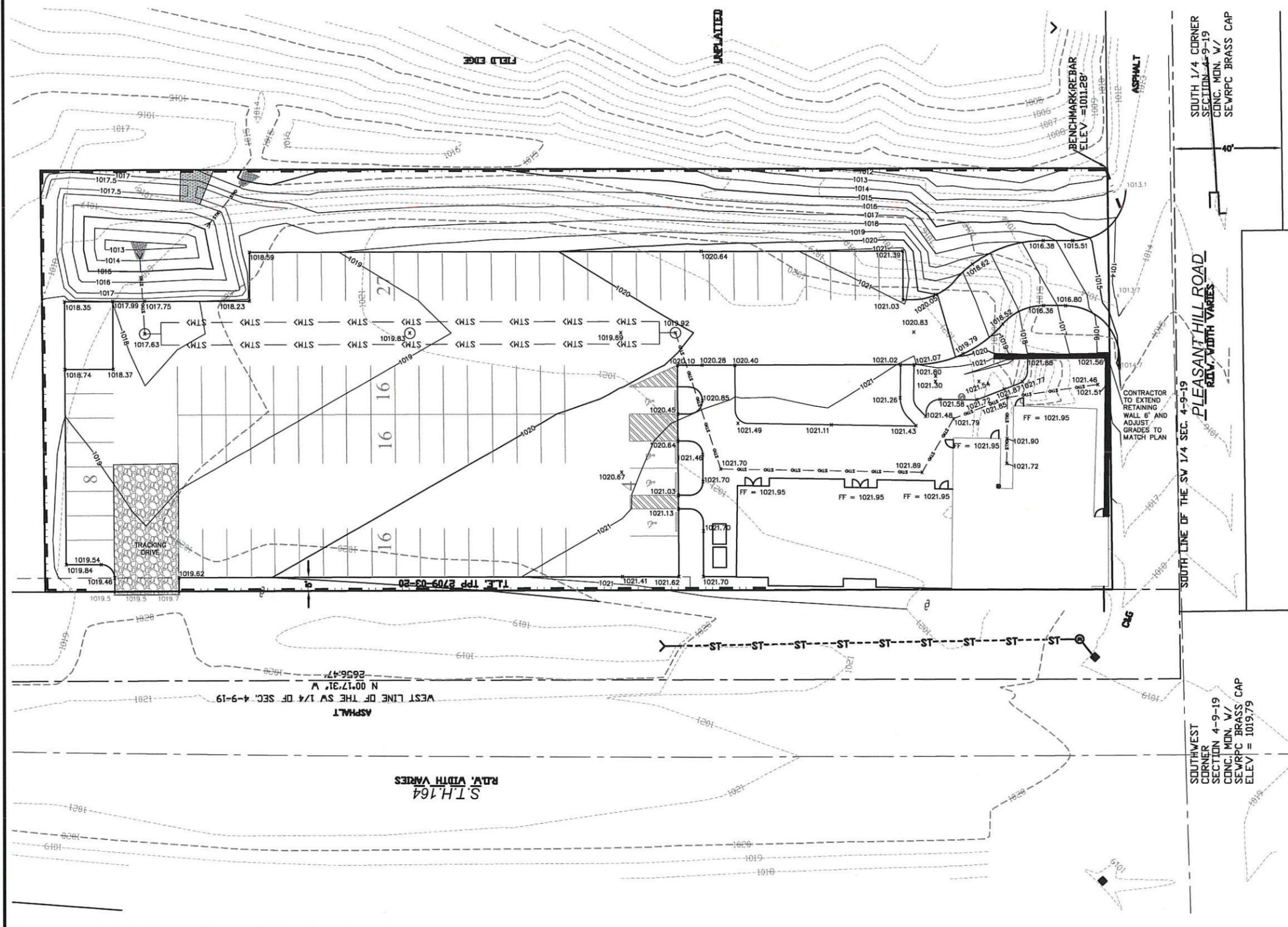
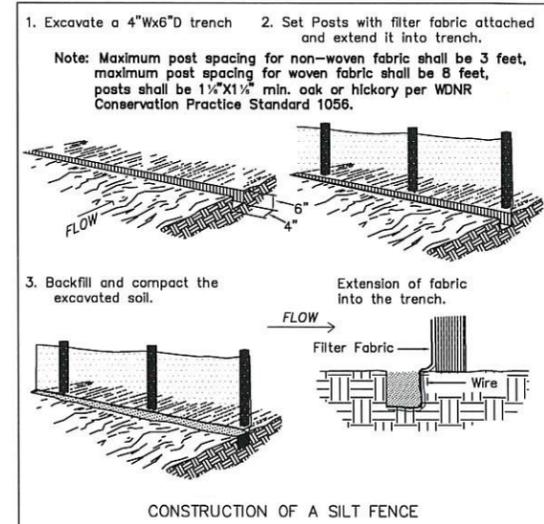
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

LEGEND

- ELETRIC PEDISTAL
- PROPOSED RETAINING WALL GRADES
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- SILT FENCE
- DITCH CHECK
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- FUTURE 1' CONTOURS
- FUTURE 5' CONTOURS
- TREE DRIP LINES
- EXISTING SPOT GRADES
- PROPOSED SPOT GRADES
- BURRIED TELAPHONE LINE
- BURRIED ELECTRIC LINE
- BURRIED GAS LINE
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER



- NOTES:**
1. ALL MATERIAL TO MEET WI D.O.T. P.A.L. SPECIFICATIONS.
 2. THE CONTRACTOR SHALL ROUTINELY INSPECT, MAINTAIN AND REPAIR THE FILTER SOCK THROUGHOUT CONSTRUCTION.
 3. DURING CONSTRUCTION THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE FILTER, OR AS DIRECTED BY THE ENGINEER.



REVISION DATE	REMARKS

SCALE: 1" = 20'
 DRAFTED BY: RJD
 CHECKED BY: RJD
 DATE: JUNE 17, 2020

LAKE COUNTRY ENGINEERING, INC.
 Consulting Engineers - Surveyors
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066
 Phone (262) 569-9331 Fax (262) 569-9316

GRADING AND EROSION CONTROL PLAN
 STH "164" & PLEASANT HILL RD.
 PLEASANT HILL MANAGEMENT LLC
 S4, T9N, R19E, VO RICHFIELD WASHINGTON CO. WI

PROJ. #
 20-3351

SHEET #
 3 OF 4

4e



VILLAGE OF RICHFIELD
PLAN COMMISSION COMMUNICATION FORM

4e

MEETING DATE: August 6, 2020

SUBJECT: Plan of Operation – Joel Whitburn’s Record Research Inc. 3051 Beechwood Industrial Court (Tax Key: V10_088200K)

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO CONDITIONALLY APPROVE THE PROPOSED PLAN OF OPERATION FOR RECORD RESEARCH INC?

ISSUE SUMMARY:

Joel Whitburn’s Record Resarch Inc. (<https://www.recordresearch.com/>) is considered “the world’s most trusted source for music information” according to their website. They are a service-driven mail order book company that specializes is music history and archiving. Their company has been around for the last 50 years, starting their operation in 1970. They primarily sell music trade books, used by radio stations across the country, for use by disc jockeys like Casey Kasem or Ryan Seacrest. To date, they have published 300 books based on Billboard charted hits for various music genera. Today, Joel and his team research with unmatched degree of depth and detail not only the music charts of *Billboard* but also those of industry trade magazines *Cash Box*, *Radio & Records*, and *Music Vendor / Record World* where their work is frequently cited. The business owner is also credited with having one of the largest record collections in the world. For music afficionados, these publications are highly collectable, annually produced, books. The purpose of their proposed new location on Beechwood Industrial Court will be business office and for storage of merchandise. This business is proposing to relocate from Menomonee Falls.

Their typical hours of operation are Monday through Friday from 8AM-5PM. There are four (4) employees who work full-time and one employee who is part-time. The operation itself does not generate any traffic because there are no customers who visit the site. From speaking with the property owner, they are proposing to occupy the space at 3051 Beechwood Industrial Court Units 1 & 2.

The subject property is zoned M-2, Limited Industrial District and is controlled by 70.202. This type of use is listed as a Permitted Principal Use pursuant to Sec. 70.202(B)(4) which states the following:

“Service-oriented commercial and office uses operating from enclosed, multi-tenant buildings located in the Beechwood Industrial Park area provided adequate access, parking, water, sanitary, and other facilities and services are available to serve both existing and future tenants”.

Staff believes this type of us is entirely consistent with the Zoning District and the types of uses which were envisioned with this development was created.



FUTURE IMPACT AND ANALYSIS:

REVIEWED BY:

[Signature]
Village Deputy Clerk

Forward to Village Board: No
Additional Approvals Needed: No
Signatures Required: No

ATTACHMENTS

- 1. Plan of Operation – Record Research Inc.



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Plan of Operation – Joel Whitburn’s Record Research Inc. 3051 Beechwood Industrial Court (Tax Key: V10_088200K)

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Motion to Conditionally Approve the petitioned Plan of Operation for Record Research Inc. located at 3051 Beechwood Industrial Court (Tax Key: V10_088200K) subject to the following Specific Conditions of Approval:

Specific Conditions of Approval:

1. The petitioner receive all necessary occupancy permits from the Building Inspection Department and Richfield Volunteer Fire Company.

APPROVED FOR SUBMITTAL BY:

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN



 Village Staff Member



 Village Administrator

Resolution No. _____
 Ordinance No. _____
 Approved _____
 Other _____

Continued To: _____
 Referred To: _____
 Denied _____
 File No. _____

4128 Hubertus Rd Hubertus, WI 53033 Village Hall - 262.628.2260 Fax - 262.628.2984		BUSINESS PLAN OF OPERATION APPLICATION VILLAGE OF RICHFIELD		Permit No.
				Parcel/Tax Key No.
NAME OF PROPOSED BUSINESS:			SUITE #:	
RECORD RESEARCH INC.				
Owner's/Operator's Name: (Please print) JOEL WHITBURN	Mailing Address PO BOX 200, MENDOTA, WI 53052	City MENDOTA	State WI	Zip 53052
	Email Address jwhitburn@yahoo.com			Phone #: 262-251-5408
Tenant's Name: (Please Print) SAME	Mailing Address	City	State	Zip
	Email Address			Other
DESCRIPTION OF BUSINESS OPERATION: <u>BOOK PUBLISHER</u> <u>WE WRITE AND SELL MUSIC TRADE BOOKS - WE ARE A MAIL ORDER COMPANY -</u>				
TYPE OF BUSINESS: Please check the appropriate box for type:			Description: _____	
<input checked="" type="checkbox"/> Retail <input type="checkbox"/> Office <input checked="" type="checkbox"/> Warehouse/Storage <input type="checkbox"/> Industrial			<input type="checkbox"/> Wholesale <input type="checkbox"/> Institutional <input type="checkbox"/> Other: _____	
NEW USE:		EXPANSION OF EXISTING USE:		OTHER: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
HOURS OF OPERATION:		DAYS OF OPERATION:		
Mon-Fri: <u>8-5</u> Sat, Sun: <u>—</u>		Mon <input checked="" type="checkbox"/> Tue <input checked="" type="checkbox"/> Wed <input checked="" type="checkbox"/> Thu <input checked="" type="checkbox"/> Fri <input checked="" type="checkbox"/> Sat <input type="checkbox"/> Sun <input type="checkbox"/>		
MAXIMUM # OF EMPLOYEES:		# of Full Time:		CURRENT ZONING:
<u>4</u>		<u>4</u>		
# of Part Time:				
<u>1</u>				
EXPECTED CUSTOMERS PER DAY: <u>0</u>		NUMBER OF TRUCKS PER DAY: <u>0</u>		
		NUMBER OF AUTOS PER DAY: <u>2</u>		
PARKING		STORAGE		
# of Available Parking/Parking Lot Spaces: <u>4</u>		Storage <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
# of Loading Spaces: <u>1</u>		Types of Storage: <u>BOOKS</u>		
Overnight Parking <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
Where:				
SPECIAL EQUIPMENT/FACILITIES/REQUIREMENTS <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If so, What?				
Applicant's Signature: <i>Joel Whitburn</i>		Applicant's Name (Printed): JOEL WHITBURN		Date Signed: 7/1/2020
Property Owner's Signature:		Property Owner's Name (Printed):		Date Signed:
APPROVAL CONDITIONS		Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of Village Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the Village Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.		
FOR VILLAGE STAFF ONLY				
Date Submitted for Review: _____				
Approved by Village Staff: _____				
SPECIAL REQUIREMENTS/COMMENTS:				Date: _____

4f



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

4F

MEETING DATE: August 6, 2020

SUBJECT: Plan of Operation – AKA Custom Lids 1284 STH 175 (Tax Key: V10_088100F)
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO CONDITIONALLY APPROVE THE PROPOSED PLAN OF OPERATION FOR AKA CUSTOM LIDS?

ISSUE SUMMARY:



AKA Custom Lids (Search on Facebook/IG: @akacustomlids) is presently an online retail establishment which customizes baseball hats. The hats are purchased from a wholesaler and then are customized by the business with a laser etched leather patch to meet the needs of their client's personal style or business brand. They have developed relationships with many local businesses like Zuern Building Products in Slinger to provide hats to their employees as a part of their uniform. A picture of which is depicted below for your convenience.

Their typical hours of operation are Monday through Friday from 8AM-5PM. There are two (2) employees who work full-time, Kody Aulenbacher and Ryan Roethle, who are both the owners of the business. While business right now is conducted entirely online, having a retail storefront in a commercial area will allow them to more easily interact with potential customers/business clients and display their products in this type of a retail space.

The only storage will be inside the property on storage racks and shelving for product. Given the vast area for parking, the loading or traffic generation will have little to no impact on the strip mall.

The subject property is zoned B-2, Community Business District and is controlled by 70.198. This type of clothing store use is listed as a Permitted Principal Use pursuant to Sec. 70.198(B)(1) which includes all types of uses included in the B-1, District [Sec. 70.197(B)] of which this is a part of. Staff believes this type of use is entirely consistent with the Zoning District and the types of uses which were envisioned when this development was created.

The business will be located in a presently vacant retail space near Hubertus Chiropractic and Boxen Fit Club.



FUTURE IMPACT AND ANALYSIS:

Forward to Village Board: No
Additional Approvals Needed: No
Signatures Required: No

REVIEWED BY: [Signature]
Village Deputy Clerk

ATTACHMENTS

- 1. Plan of Operation – AKA Custom Lids



VILLAGE OF RICHFIELD
 PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

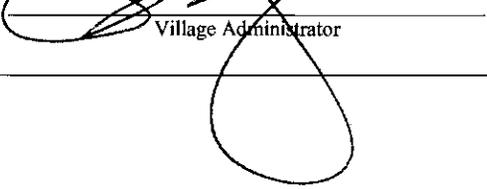
SUBJECT: Plan of Operation – AKA Custom Lids 1284 STH 175 (Tax Key: V10_088100F)
 DATE SUBMITTED: July 29, 2020
 SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Motion to Conditionally Approve the petitioned Plan of Operation for AKA Custom Lids located at 1284 STH 175 (Tax Key: V10_088100F) subject to the following Specific Conditions of Approval:

Specific Conditions of Approval:

1. The petitioner receives all necessary permits from the Building Inspection Department and Richfield Volunteer Fire Company.

<p>APPROVED FOR SUBMITTAL BY:</p>  <p>_____ Village Staff Member</p>  <p>_____ Village Administrator</p>	<p>VILLAGE CLERK USE ONLY BOARD ACTION TAKEN</p> <table> <tr> <td>Resolution No. _____</td> <td>Continued To: _____</td> </tr> <tr> <td>Ordinance No. _____</td> <td>Referred To: _____</td> </tr> <tr> <td>Approved _____</td> <td>Denied _____</td> </tr> <tr> <td>Other _____</td> <td>File No. _____</td> </tr> </table>	Resolution No. _____	Continued To: _____	Ordinance No. _____	Referred To: _____	Approved _____	Denied _____	Other _____	File No. _____
Resolution No. _____	Continued To: _____								
Ordinance No. _____	Referred To: _____								
Approved _____	Denied _____								
Other _____	File No. _____								

4128 Hubertus Rd Hubertus, WI 53033 Village Hall - 262.628.2260 Fax - 262.628.2984		BUSINESS PLAN OF OPERATION APPLICATION VILLAGE OF RICHFIELD		Permit No.	
				Parcel/Tax Key No.	
NAME OF PROPOSED BUSINESS: <u>AKA Custom Lids</u>			SUITE #:		
Owner's/Operator's Name: (Please print) Kody Aulenbacher Ryan Reithle	Mailing Address 3833 Overlook Dr W Email Address akacustomlids@gmail.com	City Hubertus, WI	State WI	Zip 53033	Phone #: 262-623-1020 Other:
Tenant's Name: (Please Print) Kody Aulenbacher Ryan Reithle	Mailing Address 3833 Overlook Dr W Email Address Same	City Hubertus, WI	State WI	Zip 53033	Phone #: Same Other:
DESCRIPTION OF BUSINESS OPERATION: <u>Laser etched leather patch hats for individual customers or businesses</u>					
TYPE OF BUSINESS: Please check the appropriate box for type: <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Office <input type="checkbox"/> Warehouse/Storage <input type="checkbox"/> Industrial <input type="checkbox"/> Wholesale <input type="checkbox"/> Institutional <input type="checkbox"/> Other:			Description:		
NEW USE: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		EXPANSION OF EXISTING USE: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		OTHER:	
HOURS OF OPERATION: Mon-Fri: <u>9am - 5pm</u> Sat, Sun:		DAYS OF OPERATION: Mon <input checked="" type="checkbox"/> Tue <input checked="" type="checkbox"/> Wed <input checked="" type="checkbox"/> Thu <input checked="" type="checkbox"/> Fri <input checked="" type="checkbox"/> Sat <input type="checkbox"/> Sun			
MAXIMUM # OF EMPLOYEES: <u>2 owners</u>		# of Full Time:	# of Part Time: <u>2</u>	CURRENT ZONING:	
EXPECTED CUSTOMERS PER DAY: <u>0-1</u>		NUMBER OF TRUCKS PER DAY: <u>0</u>		NUMBER OF AUTOS PER DAY: <u>0-1</u>	
PARKING		STORAGE			
# of Available Parking/Parking Lot Spaces: <u>Lot out front</u>		Storage <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
# of Loading Spaces: <u>4</u>		Types of Storage: <u>Racking system + shelves</u>			
Overnight Parking Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Where:			
SPECIAL EQUIPMENT/FACILITIES/REQUIREMENTS Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If so, What?					
Applicant's Signature: <u>[Signature]</u>		Applicant's Name (Printed): Kody Aulenbacher		Date Signed: 7/29/20	
Property Owner's Signature:		Property Owner's Name (Printed):		Date Signed:	
APPROVAL CONDITIONS		Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of Village Departments. <u>For example:</u> Cigarette and Alcoholic Beverage Licenses must be obtained from the Village Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.			
FOR VILLAGE STAFF ONLY					
Date Submitted for Review: _____					
Approved by Village Staff: _____					
SPECIAL REQUIREMENTS/COMMENTS:				Date:	

4g



VILLAGE OF RICHFIELD
PLAN COMMISSION COMMUNICATION FORM

4/g

MEETING DATE: August 6, 2020

SUBJECT: Plan of Operation – Midwest Spice Company LLC. 3070 Helsan Drive (Tax Key: V10_000200A008)

DATE SUBMITTED: July 29, 2020

SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTIONS: DOES THE PLAN COMMISSION WISH TO CONDITIONALLY APPROVE THE PROPOSED PLAN OF OPERATION FOR MIDWEST SPICE COMPANY LLC.?

ISSUE SUMMARY:

Midwest Spice Company (<https://www.craftspiceblends.com/about>) is a family-created and operated business presently based out of Hartford. It began in early 2016, with the development of their Craft Spice Blends line of products (pictured below). Grown out of their love for craft beer, Craft Spice Blends is inspired by the craft and creative nature of the true craft brewer. Their company assembles these ingredients into blends that are rich with history and loaded with amazing flavor. The proposed business, to be in the Helsan Drive Business Park, is a manufacturing-based industry that deals with the production and warehousing of food products which includes small-batch spices, seasonings, and dry spice rubs.

Their typical hours of operation are Monday through Saturday from 8AM-5PM. There are three (3) employees who work full-time along with three (3) part-time employees. The proposed business would generate one truck trip per day as well as the six (6) employee’s vehicles who would be reporting to work. This is not retail, so there would be no generated consumer traffic and the parking located on-site would be more than enough for their needs. Their entire operation would be entirely within the walls of the business. There is no special equipment utilized by the business and there is no overnight parking, either.



The subject property is zoned M-4, Industrial Park District and is controlled by 70.204. The listed Permitted Principal uses are those listed in the M-1, General Wholesale Business/Warehousing District and M-2, Limited Industrial District. These types of uses are permitted so long as it meets the following pursuant to 70.202(B)(1):

“All uses involving the manufacturing of goods within the confines of a building and in which any smoke, noise, dust, flash, or odor produced in the manufacturing process is confined within the building.”

From speaking with the owner of the building, Ms. Jennifer Miller of Helsan Development Company, this expectation has been conveyed to the potential new tenant. It is the opinion of Staff that this type of manufacturing operation meets the spirit and intent of the Village’s Industrial Park Zoning.

FUTURE IMPACT AND ANALYSIS:

Forward to Village Board: No
Additional Approvals Needed: No
Signatures Required: No

REVIEWED BY:

[Signature]
Village Deputy Clerk

ATTACHMENTS

- 1. Plan of Operation – Midwest Spice Company LLC.



VILLAGE OF RICHFIELD

PLAN COMMISSION COMMUNICATION FORM

MEETING DATE: August 6, 2020

SUBJECT: Plan of Operation – Midwest Spice Company LLC. 3070 Helsan Drive (Tax Key: V10_000200A008)
DATE SUBMITTED: July 29, 2020
SUBMITTED BY: Jim Healy, Village Administrator

STAFF RECOMMENDATION:

Motion to Conditionally Approve the petitioned Plan of Operation for Midwest Spice Company LLC. located at 3070 Helsan Drive (Tax Key: V10_000200A008) subject to the following Specific Conditions of Approval:

Specific Conditions of Approval:

- 1. The petitioner receives all necessary permits from the Building Inspection Department and Richfield Volunteer Fire Company.

APPROVED FOR SUBMITTAL BY:

Handwritten signature of Village Staff Member and Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No.
Ordinance No.
Approved
Other

Continued To:
Referred To:
Denied
File No.

4128 Hubertus Rd Hubertus, WI 53033 Village Hall - 262.628.2260 Fax - 262.628.2984		BUSINESS PLAN OF OPERATION APPLICATION VILLAGE OF RICHFIELD		Permit No.
				Parcel/Tax Key No. V10 000200A008 HELSON BUSINESS PARK LOT 8
NAME OF PROPOSED BUSINESS: MIDWEST SPICE COMPANY, LLC				SUITE #: A
Owner's/Operator's Name: (Please print) HELSON LLC DEVELOPMENT CO.	Mailing Address	City	State	Zip
	3070 H. Helson Dr, Richfield			Phone #: 262-677-1121
	Email Address			Other
JENNIFER@HELSONWI.COM				262-707-7514
Tenant's Name: (Please Print) MIDWEST SPICE COMPANY, LLC	Mailing Address	City	State	Zip
	1829 COUNTY ROAD K, HARTFORD, WI 53027			Phone #: 414-795-8801
	Email Address			Other
bdpfister@gmail.com				
DESCRIPTION OF BUSINESS OPERATION: <u>PRODUCTION AND WAREHOUSING</u> <u>OF FOOD PRODUCTS, INCLUDING SPICES, SEASONINGS & SPICE RUBS</u> <u>WEBSITE: CRAFTSPICEBLENDS.COM</u>				
TYPE OF BUSINESS: Please check the appropriate box for type:			Description: _____	
<input type="checkbox"/> Retail <input type="checkbox"/> Office <input checked="" type="checkbox"/> Warehouse/Storage <input checked="" type="checkbox"/> Industrial			<input type="checkbox"/> Wholesale <input type="checkbox"/> Institutional <input checked="" type="checkbox"/> Other: <u>FOOD PROCESSING</u>	
NEW USE: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		EXPANSION OF EXISTING USE: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		OTHER: _____
HOURS OF OPERATION: Mon-Fri: <u>8AM-5PM</u> Sat, Sun: <u>8AM-5PM</u>		DAYS OF OPERATION: Mon <input checked="" type="checkbox"/> Tue <input checked="" type="checkbox"/> Wed <input checked="" type="checkbox"/> Thu <input checked="" type="checkbox"/> Fri <input checked="" type="checkbox"/> Sat <input checked="" type="checkbox"/> Sun		
MAXIMUM # OF EMPLOYEES: <u>6</u>		# of Full Time: <u>3</u>	CURRENT ZONING: <u>M-4, INDUSTRIAL PARK</u>	
# of Part Time: <u>3</u>				
EXPECTED CUSTOMERS PER DAY: <u>0</u>		NUMBER OF TRUCKS PER DAY: <u>1</u>		
		NUMBER OF AUTOS PER DAY: <u>6</u>		
PARKING		STORAGE		
# of Available Parking/Parking Lot Spaces: <u>20</u>		Storage Yes <input checked="" type="checkbox"/> No		
# of Loading Spaces: <u>2</u>		Types of Storage: _____		
Overnight Parking Yes <input checked="" type="checkbox"/> No				
Where: _____				
SPECIAL EQUIPMENT/FACILITIES/REQUIREMENTS Yes <input checked="" type="checkbox"/> No If so, What?				
Applicant's Signature: 		Applicant's Name (Printed): <u>BEN PFISTER</u>		Date Signed: <u>7/22/20</u>
Property Owner's Signature: 		Property Owner's Name (Printed): <u>Jennifer Miller</u>		Date Signed: <u>7-22-20</u>
APPROVAL CONDITIONS		Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of Village Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the Village Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.		
FOR VILLAGE STAFF ONLY				
Date Submitted for Review: _____				
Approved by Village Staff: _____				
SPECIAL REQUIREMENTS/COMMENTS: _____				

