



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**JUNE 23, 2020**  
**6:00 P.M.**

**THIS MEETING WILL BE HELD VIRTUALLY ON WEBEX DUE TO THE COVID-19 VIRUS. THIS MEETING CAN BE ACCESSED IN ONE OF THE FOLLOWING WAYS:**

- 1. BY CALLING 408-418-9388 AND ENTERING "ACCESS CODE" 629319079# THEN ENTERING IN "ATTENDEE ID" 11#**
- 2. CLICKING THE FOLLOWING LINK: <https://meetingsamer9.webex.com/meet/administrator32>**
- 3. PLEASE BE ADVISED: REQUESTS FROM PERSONS WITH DISABILITIES WHO NEED ASSISTANCE TO PARTICIPATE IN THIS MEETING OR INDIVIDUALS WHO HAVE HEARING IMPAIRMENTS SHOULD NOTIFY THE VILLAGE CLERK'S OFFICE AT 262-628-2260 WITH AS MUCH ADVANCED NOTICE AS POSSIBLE.**

*Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Richfield Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. Notice of Village Board Quorum (Chairperson to announce the following if a quorum of the Village Board is an attendance at the meeting: "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during Public Hearings, or if the rules are suspended to allow them to do so.")*

1. Call to Order/ Roll Call
2. Verification of Open Meetings Law compliance
3. Pledge of Allegiance
4. Approval of Minutes
  - a. July 17, 2019 – Regular Meeting
  - b. August 27, 2019 – Special Meeting
  - c. January 15, 2020 – Regular Meeting
5. DISCUSSION/ACTION
  - a. Discussion and possible recommendation to the Plan Commission regarding a Site, Building and Plan of Operation petition for the business expansion of Pleasant Hill Bar and Grill, for property located at 2102 STH 164 (Tax Key: V10\_008200Z) – *Pleasant Hill Management LLC, petitioner*
6. ADJOURNMENT

Additional explanation of items on the agenda (Communication Forms) can be found on the village's website at [www.richfieldwi.gov](http://www.richfieldwi.gov). Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's office at 628-2260 or [www.richfieldwi.gov](http://www.richfieldwi.gov) with as much advanced notice as possible.

4a

**1. Call to Order/Determination of Quorum**

Chairman Wirth called the meeting to order at 6:30PM, noting that a quorum of the Board was present. Board members present: Chairman Bob Wirth, Commissioner Bruce Gibb, Commissioner Jason Duehring and Commissioner Jim Otto.

Commissioner Tim Einwalter arrived at 6:34PM

Also, present: Jim Healy, Village Administrator

**2. Confirmation of Open Meetings Law Compliance**

Administrator Jim Healy confirmed that the agenda was posted at the Colgate, Hubertus, and Richfield U.S. Post Offices as well as online and at Village Hall. Digital copies of the agenda were also sent to the West Bend Daily News, Milwaukee Journal Sentinel, Hartford Times Press, and Germantown Express News.

**3. Pledge of Allegiance**

**4. APPROVAL OF MINUTES**

**a. June 12, 2019 – Regular Meeting**

Motion by Commissioner Jim Otto to approve the June 12, 2019 Architectural Review Board Regular Meeting Minutes; Seconded by Commissioner Duehring; Motion passed without objection.

**5. DISCUSSION/ACTION**

- a) Discussion and possible recommendation to the Plan Commission regarding a Site, Building and Plan of Operation petition for the business expansion of Pleasant Hill Bar and Grill, for property located at 2102 STH 164 (Tax Key: V10\_008200Z) – Pleasant Hill Management LLC, petitioner**

Chairman Wirth questioned why the designer of the building continues to not label the design elevations.

General discussion occurred with members of the Board regarding what they could infer from the drawings.

Motion by Commissioner Duehring to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill, located at 2102 STH 164, as presented and subject to the following conditions of approval:

- 1) The petitioner shall provide to the satisfaction of the Staff and the Architectural Review Board Chairman, the annotated drawings for the proposed design and materials and architectural elements referenced during the presentation on July 17, 2019 to the Architectural Review Board.
- 2) The petitioner shall provide to the satisfaction of the Building Inspector the plan for any rooftop electrical equipment so that the only visible rooftop mechanical vents are from the existing HVAC system.
- 3) The approval of the Architectural Review Board does not waive the necessity of obtaining all necessary approvals and permits from the Building Inspection Department and any other permitting jurisdiction.

Seconded by Commissioner Otto; Motion passed without objection.

**b) Discussion regarding the permissibility of materials for property identified by Tax Key: V10\_0008031, Lot 2, Endeavor Business Park – Object Controls, petitioner**

Mr. Kraig Sadownikow from American Construction Services presented a proposed building material for Object Controls and was asking the Board to determine the permissibility of the material. Previously, the business had been in front of the Architectural Review Board with a different designer. There design was denied because the building material was “profiled”. It was the opinion of Mr. Sadownikow that after a review of the Village Code, that the materials being proposed were compliant because they were “flush” and had a “concealed fastener”.

Commissioner Otto stated that as the original drafted of the subject Ordinance, Section 70.133, he was confident the building materials were not consistent with the intent of the Town Board at that time. However, it was noted that there was a caveat placed in the Code to allow for exceptional design using these types of materials. He then went on to discuss how the proposed materials in his opinion were, in fact, profiled because of the embossment.

Commissioner Einwalter agreed with the assertion that the proposed building materials were embossed and that by definition any texturing could not be flush.

Chairman Wirth passed around pictures and examples of what he considers to be “Architectural Metal Panels” and discussed the differences between the two (2) products.

Commissioner Duehring stated that he believed the building materials were compliant with the Village Code.

**c) Discussion and possible recommendation to the Plan Commission regarding a Site and Building expansion petition for the Messer-Mayer Mill in the Richfield Historical Park, for property identified by Tax Key: V10\_0188 – Richfield Historical Society, petitioner**

Commissioners Otto and Einwalter recused themselves from the discussion and exited the room. Commissioner Einwalter designed the proposed structure before the Architectural Review Board and Commissioner Otto previously was involved with the Richfield Historical Society regarding the Mill’s restoration.

Motion by Commissioner Duehring to recommend approval of the proposed Messer-Mayer Mill Engine Shed to the Village Plan Commission, subject to the following Conditions of Approval:

1. The Village receive written confirmation from the Board of Directors of the Richfield Historical Society that any financial obligations related to this project will be paid entirely by the Society;

Seconded by Commissioner Gibb; Motion passed without objection.

**6. ADJOURNMENT**

Motion by Commissioner Duehring to adjourn the meeting at 7:47 PM; Seconded by Commissioner Einwalter; Motion passed without objection.

Respectfully Submitted,

Jim Healy  
Village Administrator

DRAFT

4b

**1. Call to Order/Determination of Quorum**

Chairman Wirth called the meeting to order at 7:01PM, noting that a quorum of the Architectural Review Board was present.

Architectural Review Board members present Commissioners Bruce Gibb, Tim Einwalter, Jason Duehring and Jim Otto.

Also, present: Jim Healy, Village Administrator

**2. Confirmation of Open Meetings Law Compliance**

Administrator Jim Healy confirmed that the agenda was posted at the Colgate, Hubertus, and Richfield U.S. Post Offices as well as online and at Village Hall. Digital copies of the agenda were also sent to the West Bend Daily News, Milwaukee Journal Sentinel, Hartford Times Press, and Germantown Express News.

**3. Pledge of Allegiance**

**4. DISCUSSION/ACTION**

**a) Discussion/Action regarding the list of permissible and prohibited building materials contained in Section 70.133 of the Village Code**

Village Administrator Healy discussed Section 70.133 of the Village Code. The legislative history of the Ordinance was discussed with the Architectural Review Board and the Village Board which was also in attendance.

What was discussed with the members of the Architectural Review Board was the development of an internal guidance document, like what is done currently with the Plan Commission regarding landscaping trees/shrubs, to provide project managers and property owners additional context for discussion. Village Administrator Healy was directed to work with Dickman Realty and the owner of Endeavor Business Park to put this document together and then circulate it amongst the Architectural Review Board.

Village Administrator Healy discussed the purpose of having a list of "permissible" and "prohibited" building materials as well as the flexibility and latitude the Architectural Review Board has for considering buildings with materials that are prohibited. There is a pathway for approvals with buildings constructed with prohibited materials. While Staff attempts to convey to property owners what these types of materials should be utilized in the construction process, ultimately the decision is up to the property owner.

**6. ADJOURNMENT**

Motion by Commissioner Duehring to adjourn the meeting at 8:35 PM; Seconded by Commissioner Otto; Motion passed without objection.

Respectfully Submitted,

Jim Healy  
Village Administrator

4c

**1. Call to Order/Determination of Quorum**

Chairman Wirth called the meeting to order at 6:01PM, noting that a quorum of the Architectural Review Board was present.

Architectural Review Board members present: Commissioners Bruce Gibb, Tim Einwalter, Jason Duehring and Jim Otto.

Also, present: Jim Healy, Village Administrator

**2. Confirmation of Open Meetings Law Compliance**

Administrator Jim Healy confirmed that the agenda was posted at the Colgate, Hubertus, and Richfield U.S. Post Offices as well as online and at Village Hall. Digital copies of the agenda were also sent to the West Bend Daily News, Milwaukee Journal Sentinel, Hartford Times Press, and Germantown Express News.

**3. Pledge of Allegiance**

**4. DISCUSSION/ACTION**

- a) **Discussion and possible recommendation to the Plan Commission regarding a Site, Building and Plan of Operation petition for the business expansion of Pleasant Hill Bar and Grill, for property located at 2102 STH 164 (Tax Key: V10\_008200Z) – Pleasant Hill Management LLC, petitioner**

Discussion regarding the proposed plan and materials were presented by the property owner.

Commissioner Otto questioned the parking lot location and access to the site as it was not laid out on the designed plans.

The property owner discussed his logic and reasoning for the window heights and the floor plan.

Discussion regarding the suitability of the windows for the building took place.

Motion by Commissioner Tim Einwalter to table the design until February 19<sup>th</sup> at 6:00PM; Seconded by Jim Otto; Motion failed.

Motion by Commissioner Otto to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10\_008200Z) subject to the following Conditions of Approval:

- 1) Elongate the windows on the East, South, and North elevations to the "B Windows" shown on the A800 schedule.
- 2) Regarding the overhang on the East elevation, that should be cut to a vertical hang.
- 3) The material for the "gable transition" should be mimicked on the East elevation with hardiplank below and the gingerbread staggered shake in the gable peak

Seconded by Commissioner Jason Duehring; Motion passed without objection.

1/15/2020

Village Hall, 4128 Hubertus Rd.

**b) Discussion/Action regarding the list of permissible and prohibited building materials contained in Section 70.133 of the Village Code**

Administrator Healy discussed the actions taken by Village Staff in the weeks that followed the joint meeting between the Architectural Review Board and the Village Board. A "material list" was circulated to the Architectural Review Board that is presently being used internally by Dickman Relator Nick Keys and Endeavor Business Park owner, Mr. Mark Sellers. It was discussed that 70.133 of the Village Code already affords the Architectural Review Board discretion to see a wide array of proposals and it appeared the direction received from the Architectural Review Board and Village Board were that no further changes should be recommended to be made at this time.

**6. ADJOURNMENT**

Motion by Commissioner Duehring to adjourn the meeting at 6:56 PM; Seconded by Commissioner Bruce Gibb; Motion passed without objection.

Respectfully Submitted,

Jim Healy  
Village Administrator

DRAFT

5a



## VILLAGE OF RICHFIELD

### ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: June 23, 2020

SUBJECT: Pleasant Hill Pub and Grill (Northern Portion) – 2102 STH 164 (Tax Key: V10\_008200Z)  
DATE SUBMITTED: June 8, 2020  
SUBMITTED BY: Jim Healy, Village Administrator

*POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED BUILDING EXPANSION?*

*ISSUE SUMMARY:*

Tonight, the Architectural Review Board (ARB) will be reviewing the latest iteration of plans for the Pleasant Hill Pub and Grill, the site of the former Hairy Lemon located at the northeast intersection of Pleasant Hill Road and STH 164. As you may recall, the ARB previously reviewed this design in January as a reconsideration. The proposal was conditionally approved with the following motion:

Motion by Commissioner Otto to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10\_008200Z) subject to the following Conditions of Approval:

- 1) Elongate the windows on the East, South, and North elevations to the “B Windows” shown on the A800 schedule.
- 2) Regarding the overhang on the East elevation, that should be cut to a vertical hang.
- 3) The material for the “gable transition” should be mimicked on the East elevation with hardiplank below and the gingerbread staggered shake in the gable peak

Seconded by Commissioner Jason Duehring; Motion passed without objection.

Members of the ARB are encouraged to visit to site the see the construction which has already started with the addition of the seating area and kitchen on the east side of the building. The proposal before you tonight is a 3,040 sqft addition, building off 5,356 sqft that was previously approved by the ARB and Plan Commission earlier in the year. The primary building materials, as labeled, are permissible materials pursuant to Section 70.133 of the Zoning Code. They are also consistent with the previously approved materials. These materials are noted on the drawings on Sheet A400 in the legend on the upper right-hand corner of the page. The windows are all the previously approved “Double Hung” windows from the previous drawings that were requested to be elongated (2.5’x5’). On the north side, the property owner is also proposing an HVAC enclosure that is constructed of Lap Siding and Cedar, which will be painted to match the exterior of the building.

On the East Elevation of the building you see two (2) entryways into the dining area. This was previously set to be on the northside of the building but has been reconfigured. The gable peaks are shown again with the LP Smartside Stagger Shake Siding. This east side will be the pavilion seating area, under the metal roof. This is to match the existing metal roof on the property which was replaced several years back. The primary building façade is a blend of LP Smartside and “Siding 2” which is a LP Smartside of a different color. This creates some visual intrigue for the server door and the two (2) entrances. The middle window which appears to be bisected by the post is approximately 16’ from the window. The secondary presentation of the East Elevation, the overhang is removed for the bidding contractor to see the



# VILLAGE OF RICHFIELD

## ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

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DATE SUBMITTED: June 8, 2020  
SUBMITTED BY: Jim Healy, Village Administrator

“reveal”. On the west side of the building the property owner is proposing to mimic the east elevation with the interplay between LP Smartside Lap Siding and the two (2) different types of LP Smartside Stagger Shake Siding.

It is the opinion of Staff that this design iteration is more successful in the massing and proportion of the building. Additionally, Staff believes that this is the most complete set of drawings received to date and the architect and property owner should be commended for the efforts putting this design package together. On the night of the meeting, a representative from Foundation Architects will be on-hand to present for the property owner.

*FUTURE IMPACT AND ANALYSIS:*

*REVIEWED BY:* \_\_\_\_\_  
*Village Deputy Treasurer*

Forward to Plan Commission: Yes  
Additional Approvals Needed: Yes

*ATTACHMENTS:*

- 1. Building design submitted by Foundation Architects LLC dated 5/29/20

*STAFF RECOMMENDATION:*

Motion to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10\_008200Z), as designed.

APPROVED FOR SUBMITTAL BY:

Village Staff Member  
  
Village Administrator

VILLAGE CLERK USE ONLY  
BOARD ACTION TAKEN

Resolution No. \_\_\_\_\_  
Ordinance No. \_\_\_\_\_  
Approved \_\_\_\_\_  
Other \_\_\_\_\_

Continued To: \_\_\_\_\_  
Referred To: \_\_\_\_\_  
Denied \_\_\_\_\_  
File No. \_\_\_\_\_



**foundation architects** LLC

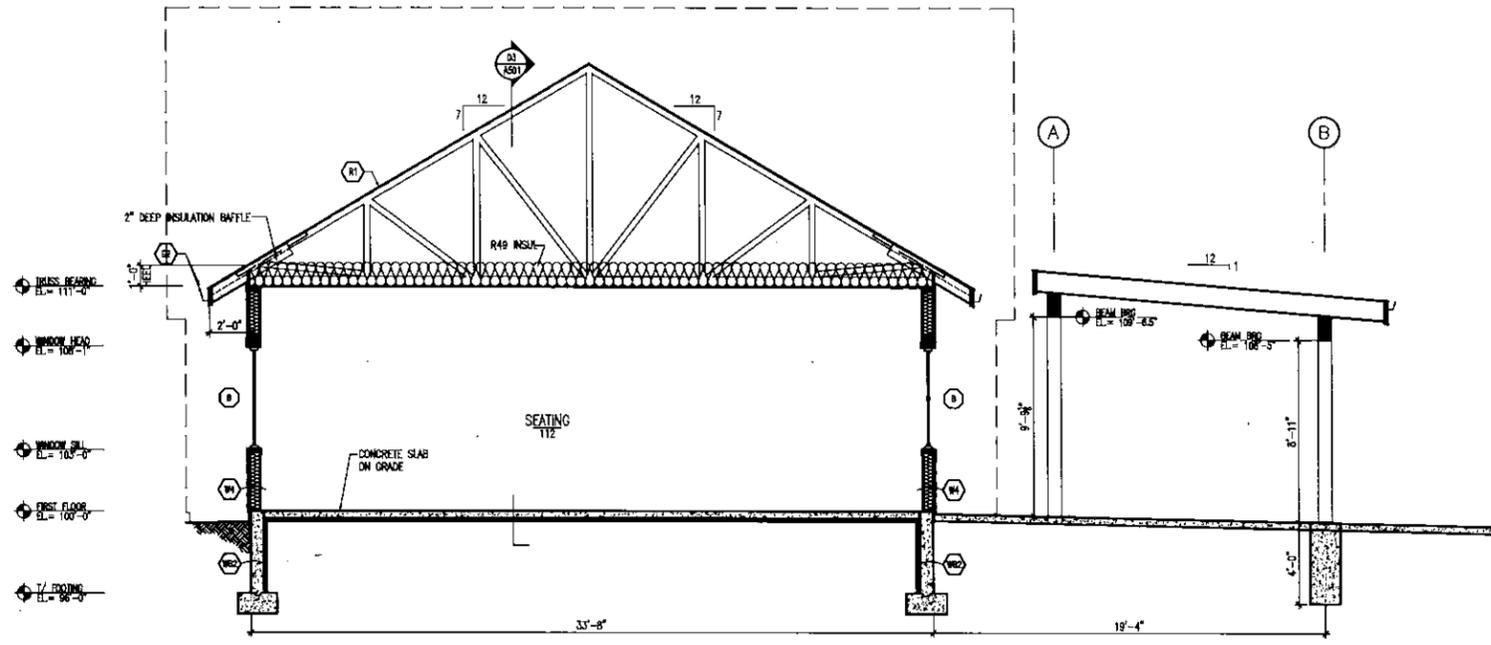
2825 S. Crowley Street, Ste 203  
Milwaukee, WI 53207

info@foundationarchitects.com  
Phone (414) 403-3433

www.foundationarchitects.com

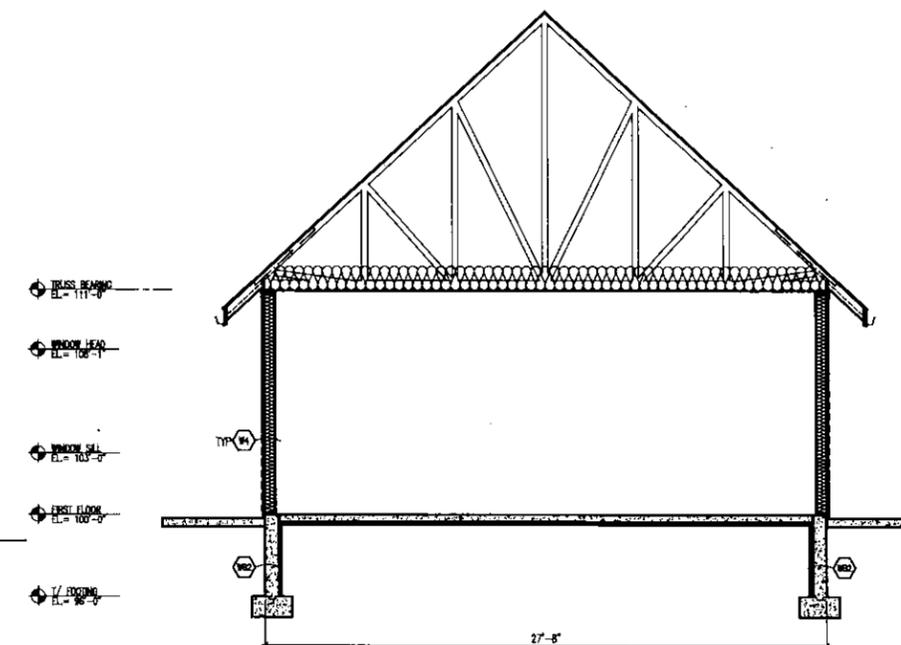
CONSULTANT

PROJECT TITLE AND LOCATION



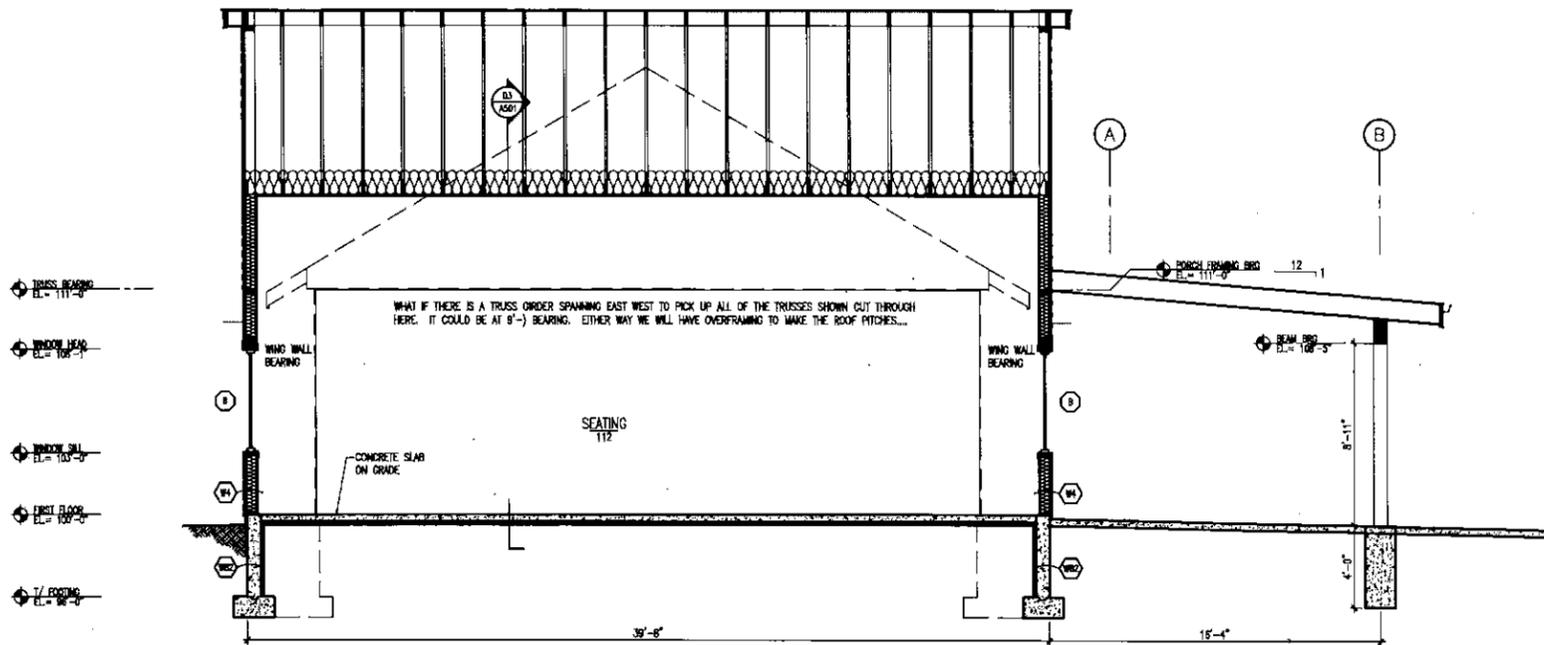
**B1** BUILDING SECTION THRU 7:12 PITCH TRUSSES  
A510 LOOKING NORTH

1/4"=1'-0"



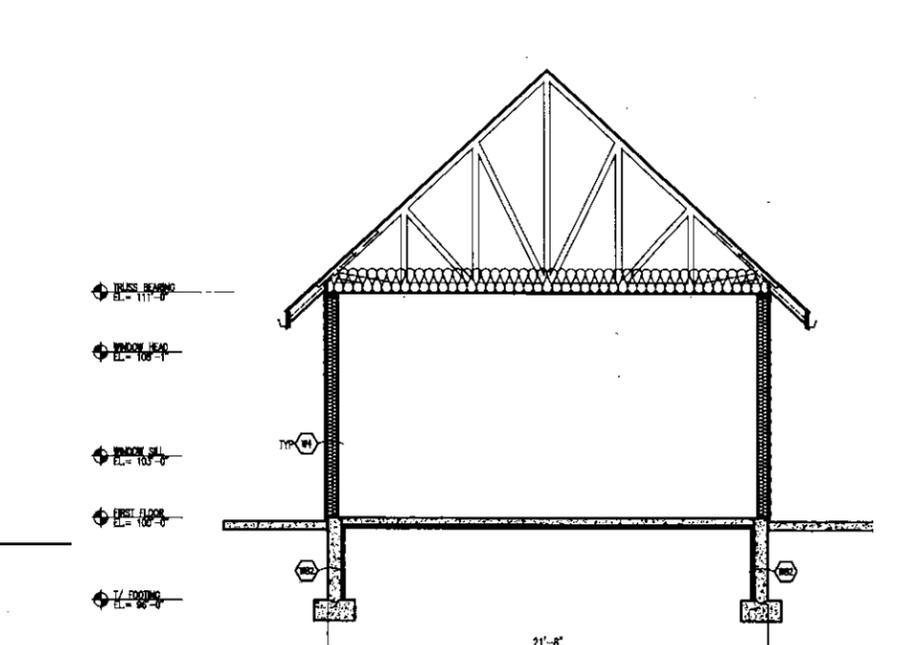
**B4** BUILDING SECTION THRU 11:12 PITCH TRUSSES  
A510 LOOKING WEST

1/4"=1'-0"



**D1** CROSS SECTION AT 11:12 PITCH TRUSSES  
A510 CENTER CROSS GABLE LOOKING NORTH

1/4"=1'-0"



**D4** BUILDING SECTION THRU 11:12 PITCH TRUSSES  
A510 LOOKING WEST

1/4"=1'-0"

PHASE 2 Addition  
Pleasant Hill Bar  
2102 WI-164  
Richfield, Wisconsin 53076

REVISION	
▲	02-17-2020 ADDENDUM 2
▲	
▲	
▲	
▲	
WITH THE ARCHITECTURAL REVIEW DRAWING SET	
FOUNDATION ARCHITECTS PROJECT NUMBER	19912
DATE	05-29-2020
SHEET TITLE	BUILDING SECTIONS
SHEET NUMBER	A510

MATERIAL SCHEDULE				architecture : Interior design FOUNDATION
CODE	PRODUCT	DESCRIPTION	MANUFACTURER	
<b>CAST-IN-PLACE CONCRETE -- DIVISION 3</b>				
SCONC-1	Concrete - Sealer	Clear	3M	
<b>ARCHITECTURAL WOODWORKING -- DIVISION 6</b>				
WD-1	Wood Veneer	TBD	TBD	
WB-1	Wood Casing & Base	* Profiled Wood Casing and Base Trim to match Existing	-	
FRP-1	Fiberglass Reinf. Plastica	85 White, Pebbled Embossed Glasbord w/Trim Accessories	Kemlite/Crane Composites	
<b>ACOUSTICAL CEILING -- DIVISION 9</b>				
AC-1	Acoustical Ceiling	3270 White, Sheetrock Lay-In Clima Plus - 24"x48"x1/2", w/Sq Edge Use with 15/16" White, Donn grid	USG	
<b>TILE -- DIVISION 9</b>				
QT-1	Quarry Tile	Color TBD	TBD	
GR-1	Grout	Natural, Standard Series by Hydroment	Bostik	
<b>RESILIENT FLOORING -- DIVISION 9</b>				
RST-1	Resilient Tread w/Integrated Riser	63 Burnt Umber VITR-SQ Raised Square Tread w/Tan Grit Tape	Johnsonite	
RB-1	Resilient Base	COLOR TBD, Rubber - 4" High Cove	Johnsonite	
RB-2	Resilient Base	COLOR TBD, Rubber - 2-1/2" High Cove	Johnsonite	
RUB-1	Rubber - Landing Tile	RT-63 Burnt Umber - SQ, Rubber w/raised Square - 24"x24"	Johnsonite	
C-1	Walk-Off Mat	TBD	TBD	
VCT-1	Vinyl Composition Tile	Color TBD - 12"x12"x1/8"	TBD	
	Subfloor Leveler System	Black, Reduce height to 0 at transition	Johnsonite	
		* Provide Transition Strip TBD by Johnsonite		
<b>PAINT -- DIVISION 9 (Room Finish Schedule designations: PAF=FLAT, PAS=SEMI-GLOSS, PAT=SATIN)</b>				
PA-1	Paint	Decorators White	Benjamin Moore	
PA-2	Paint	* Wall color to match existing	-	
PA-3	Paint	* Wood casing color to match existing	-	
PA-4	Paint	* Wood base color to match existing	-	
STN-1	Stain	* Custom color to match Architect sample	-	

ROOM FINISH SCHEDULE												architecture : Interior design FOUNDATION
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	NORTH	EAST	SOUTH	WEST	CEILING	TYPE	NOTES	
<b>* BASEMENT</b>												
001	PUMP ROOM	SCONC-1/RST-1	EXST.	EXST/GYP	-	-	-	-	GYP BD	-	TBD	
<b>FIRST FLOOR</b>												
S-1	STAIR	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	1,2,3,4,5	
103	PASSAGE	EXST	EXST	EXST	PAT-2	EXST	EXST	EXST	EXST	EXST	1,2,3,4,5	
111	KITCHEN	EXST	QT-1	GYP BD	FRP-1	EXST	EXST	EXST	EXST	AC-1	1,2,3,4,5	
120	VESTIBULE	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
121	DINING	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	SUSP/GYP BD	AC-2/PAF-1		
122	PASSAGE	CONC-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	SUSP	AC-2		
<b>SECOND FLOOR</b>												
S-1	STAIR	EXST	EXST	-	-	-	-	-	EXST	EXST		
S-3	STAIR	EXST	EXST	-	-	-	-	-	EXST	EXST		
200	OFFICE SUITE	VINYL PLANK	WB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
201	STORAGE	PLYWOOD	WB-1	EXST/GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
211	EQUIPMENT PLATFORM	EXST	EXST	-	-	-	-	-	EXST	EXST		

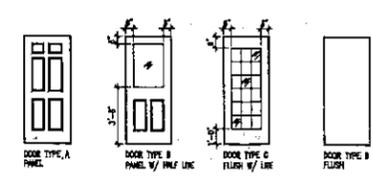
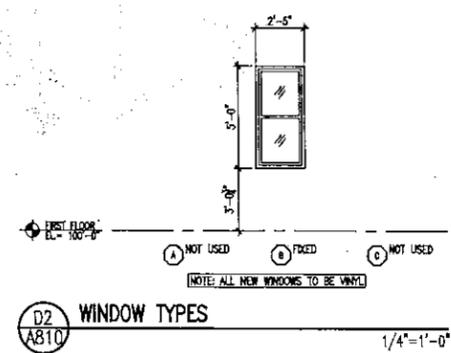
**GENERAL NOTES**

- \* Provide transition strips at all changes in floor finish.
- \* PAF = Paint with Flat Finish, PAT = Paint with Satin Finish, PAS = Paint with Semi-Gloss Finish, PAG = Paint with Gloss Finish
- \* Paint all surfaces of GYP Soffit color designated, TYP.
- \* All ductwork, hangers, supports and conduit that can be seen from any angle is to be painted.
- \* All wood doors and door frames to be painted per door schedule.
- \* All electrical and HVAC equipment to be painted out to match wall and/or ceiling.

**ROOM FINISH NOTES**

- 1 Patch floor to match existing.
- 2 Patch ceiling to match existing.
- 3 Patch wall to match existing finishes.
- 4 Patch wall base and shoe molding to match existing profile and finishes.

DOOR SCHEDULE												architecture : Interior design FOUNDATION
DOOR SCHEDULE												
DOOR #	ROOM #	ROOM NAME	SIZE (W x H)	TYPE	MAT'L	FINISH	GLASS	MAT'L	FINISH	HG	RATING	NOTES
<b>FIRST FLOOR</b>												
S-1	S-1	STAIR	3'-0" X 6'-8"	A	WD	PREF	-	WD	PAS-3	5	-	2
103.1	103	PASSAGE	3'-0" X 6'-8"	B	WD	PAS-3	MG	WD	PAS-3	4	-	2
111.1	111	KITCHEN	6'-0" X 6'-8"	D	PLAS	PREF	-	ALUM	PAS-3	7	-	5
120.1	120	VESTIBULE	3'-0" X 6'-8"	C	ALUM	PREF	IG	ALUM	PAS-3	2	-	4
120.2	120	VESTIBULE	3'-0" X 6'-8"	C	ALUM	PAS-3	MG	ALUM	PAS-3	3	-	4
121	121	DINING	3'-0" X 6'-8"	C	WD	PREF	IG	WD	PREF	2	-	4
122	122	PASSAGE	3'-0" X 6'-8"	C	WD	PREF	IG	WD	PAS-3	1	-	1
<b>SECOND FLOOR</b>												
200.1	200	OFFICE SUITE	3'-0" X 6'-8"	D	WD	PAS-3	-	WD	PAS-3	6	-	2
200.2	200	OFFICE SUITE	3'-0" X 6'-8"	D	WD	PAS-3	-	WD	PAS-3	6	-	2
<b>NOTES:</b>												
1 Prehung Prefinished Insulated Exterior Steel Door by Mastercraft												
2 Paint Grade Interior Door												
3 NOT USED												
4 Aluminum Entrance System, Full Lite												
5 Eliacon or Equal, Opposing Kitchen Doors, With Standard Window												



HARDWARE GROUPS			
HG1 BUTTS LOCK DEADBOLT - THUMBTURN CLOSER - SPRING CUSH W/ HOLD OPEN KICKPLATE THRESHOLD WEATHERSTRIPPING	HG2 PIVOT HINGES PUSH/PULL BARS KEYED CYL W/THUMBTURN CLOSER - SPRING CUSH W/ HOLD OPEN MANUAL CONCEALED FLUSH BOLTS KICKPLATE THRESHOLD WEATHERSTRIPPING SWEEPS	HG3 PIVOT HINGES PUSH/PULL BARS CLOSER - SPRING CUSH W/ HOLD OPEN	HG4 BUTTS LEVER CLOSER - SPRING CUSH KICKPLATE WALL STOP
HG5 BUTTS LOCK CLOSER	HG6 BUTTS PRIVACY WALL STOP	HG7 PIVOTS MFR HARDWARE	



PHASE 2 Addition  
Pleasant Hill Bar  
2102 WI-164  
Richfield, Wisconsin 53076

PROJECT TITLE AND LOCATION

DATE: 05-28-2020

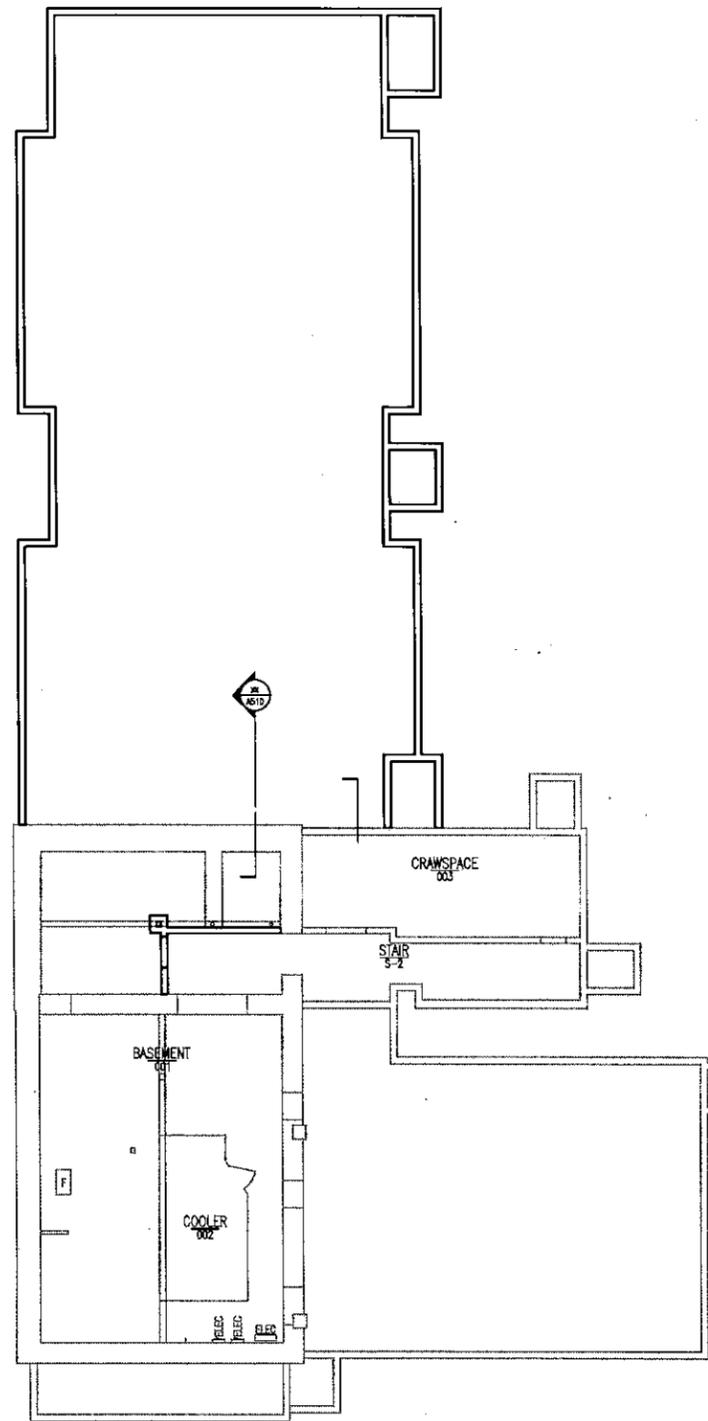
BY: [Signature]

ARCHITECTURAL REVIEW DRAWING SET

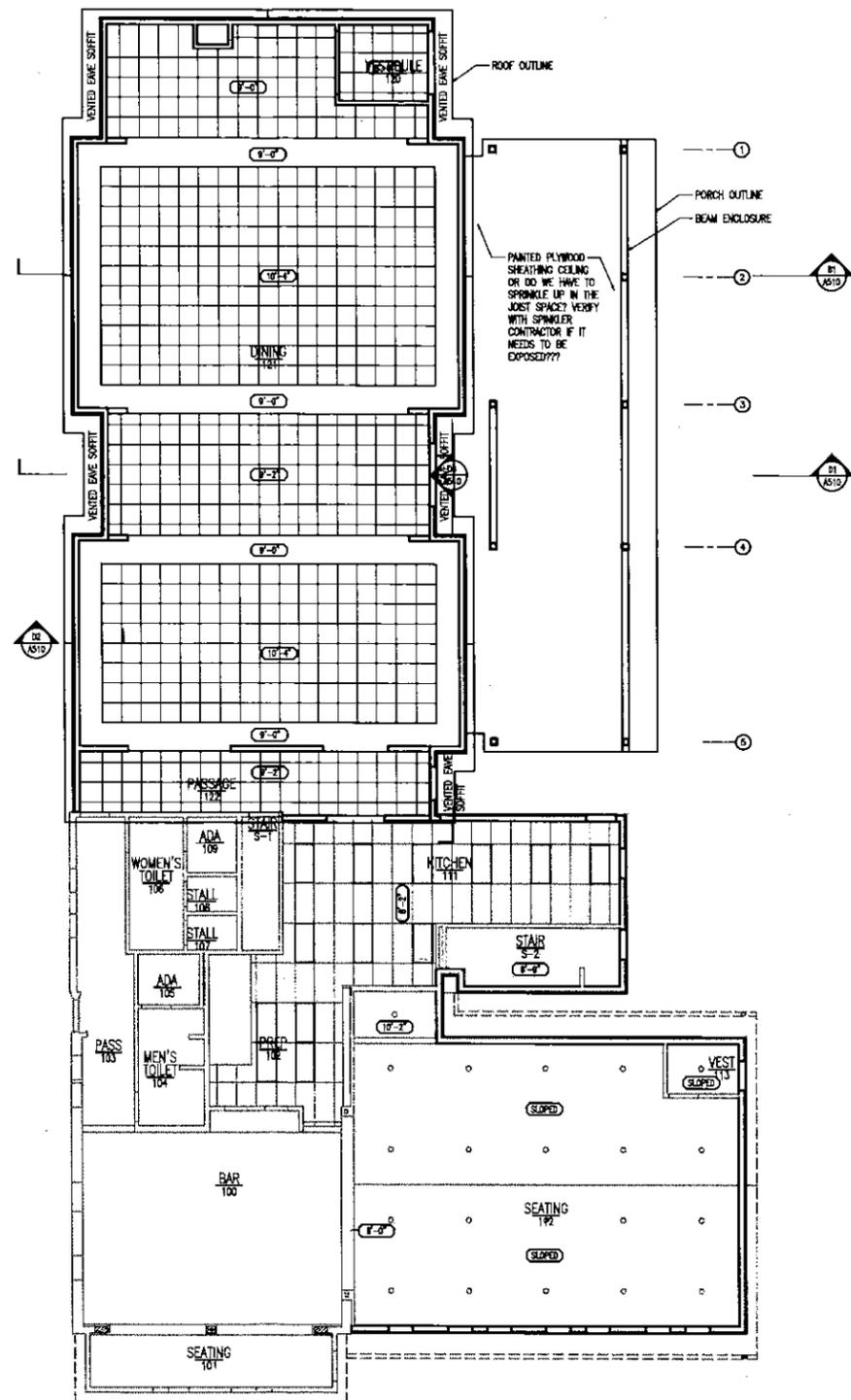
FOUNDATION ARCHITECTS PROJECT NUMBER: 19012

ROOM FINISH, MATERIAL AND DOOR SCHEDULES, HARDWARE GROUPS

SHEET NUMBER: A810



BASEMENT REFLECTED CEILING PLAN  
1/8"=1'-0"



FIRST FLOOR REFLECTED CEILING PLAN  
1/8"=1'-0"

CEILING PLAN - SYMBOLS LEGEND

	2'-0" X 4'-0" SUSPENDED EXPOSED GRID WITH LAY-IN ACOUSTIC CEILING PANELS.		RECESSED DOWN LIGHT
	GYP-SUM BOARD CEILING OR BULKHEAD		CEILING HEIGHT
	CONSTRUCTION LIMITS		

CEILING PLAN - GENERAL NOTES

- A. LIGHTING DESIGN BUILD BY OTHERS. DESIGN ASSUMES LAY-IN 2X4 FIXTURES. LIGHTING SHOWN DIAGNOSTICALLY FOR SCOPE PURPOSES ONLY.
- B. DESIGN BUILD HVAC TO PROVIDE ACCESS PANELS TO OWNER FOR AREAS WHERE NEW OR ALTERED GYPSUM CEILINGS ARE SHOWN TO PROVIDE ACCESS TO HANG EQUIPMENT WHERE REQUIRED.



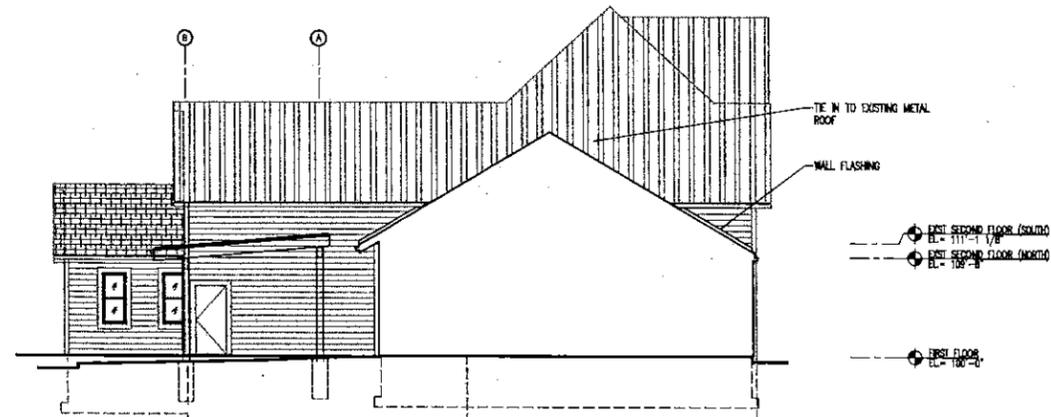
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 info@foundationarchitects.com  
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PROJECT TITLE AND LOCATION

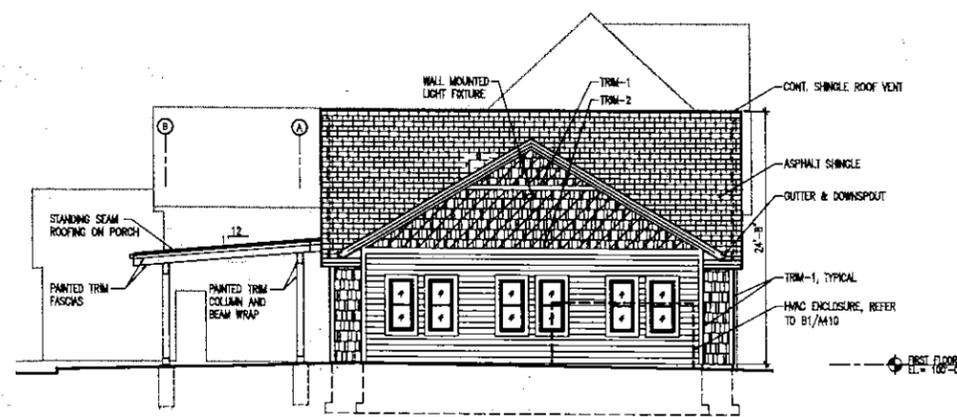
PHASE 2 Addition  
 Pleasant Hill Bar  
 2102 WI-164  
 Richfield, Wisconsin 53076

REVISIONS  
 SET TYPE  
 ARCHITECTURAL REVIEW DRAWING SET  
 FOUNDATION ARCHITECTS PROJECT NUMBER  
 19012  
 DATE  
 05-28-2020  
 SHEET TITLE  
 FIRST FLOOR REFLECTED CEILING PLAN  
 SHEET NUMBER

A310



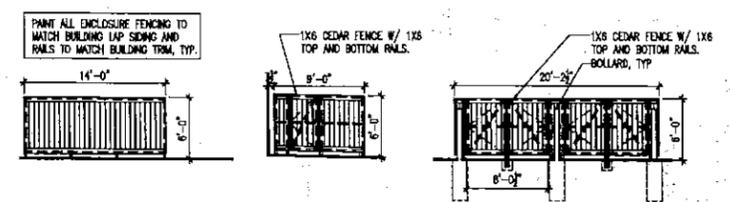
**A1**  
**A410** EXTERIOR ELEVATION  
NORTH  
1/8"=1'-0"



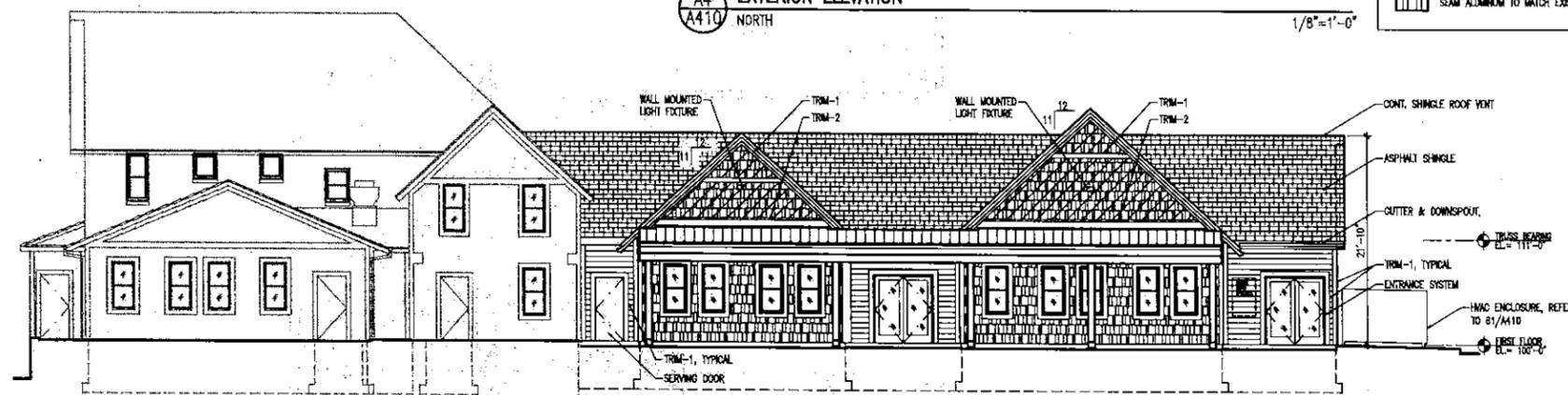
**A4**  
**A410** EXTERIOR ELEVATION  
NORTH  
1/8"=1'-0"

**EXTERIOR ELEVATION - MATERIALS LEGEND**

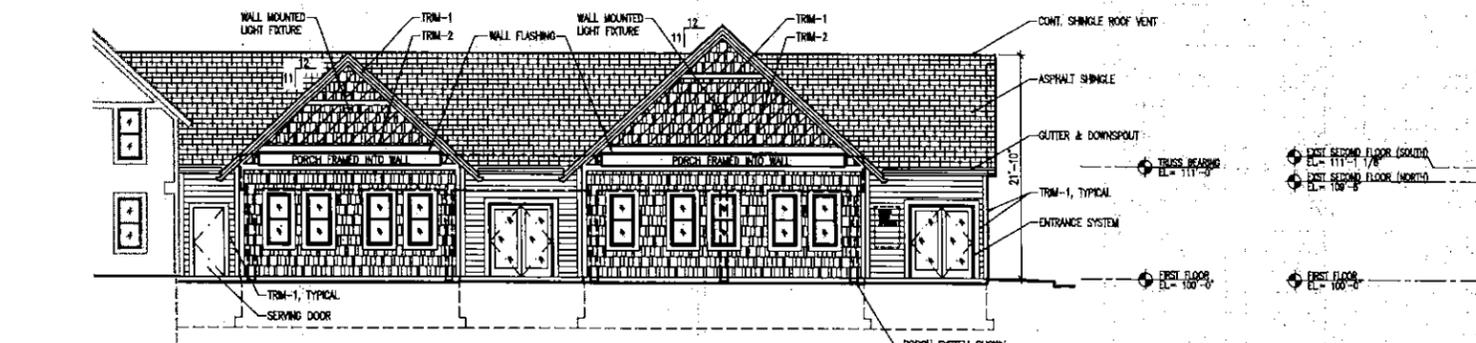
	SIDING-1: LP SMARTSIDE LAP SIDING, 6" LAP TO MATCH EXISTING, COLOR: SHERWIN WILLIAMS TED
	SIDING-2: LP SMARTSIDE STAGGER SHAKE SIDING, COLOR: SW 7019 GAUNLET GRAY
	SIDING-3: LP SMARTSIDE STAGGER SHAKE SIDING, COLOR: SW 7020 BLACK FOX
	TRIM-1: LP 1/2" x 6" PROFILE, COLOR: SW 7004 SNOWBOUND, TYPICAL AT PERIMETER TRIM, WINDOW AND DOOR CASING
	TRIM-2: LP 1/2" x 6" PROFILE, COLOR: SW 7004 SNOWBOUND, USED ONLY AS HORIZONTAL TRIM AT WINDOW HEAD AT ROOF DABLE
	ROOFING-1: OWENS CORNING ARCHITECTURAL SHINGLE, COLOR: PEPPERSHALL GRAY
	ROOFING-2: METAL ROOF, STANDING SEAM ALUMINUM TO MATCH EXISTING



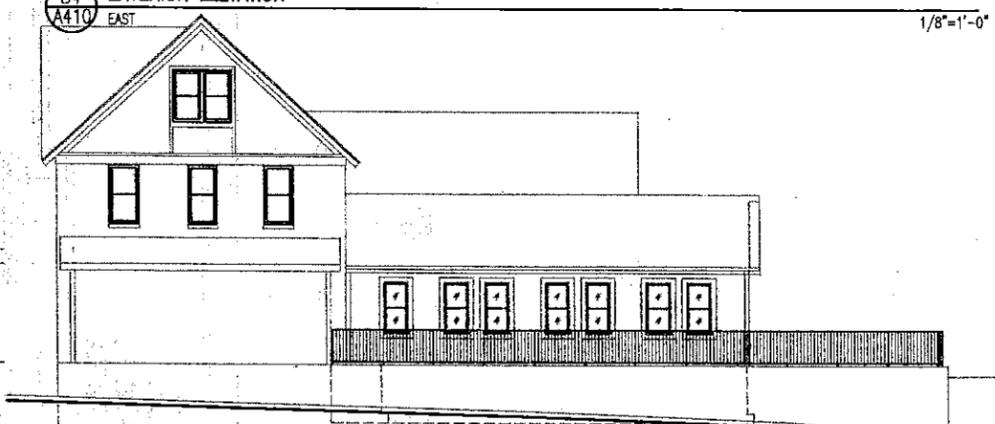
**B1**  
**A410** EXTERIOR ELEVATION  
HVAC & DUMPSTER SCREENING ENCLOSURES  
1/8"=1'-0"



**B4**  
**A410** EXTERIOR ELEVATION  
EAST  
1/8"=1'-0"



**C1**  
**A410** EXTERIOR ELEVATION  
EAST - SAME AS B4/A410 EXCEPT IT SHOWS FACE OF EXTERIOR WALL  
1/8"=1'-0"



**C4**  
**A410** EXTERIOR ELEVATION  
SOUTH  
1/8"=1'-0"



**D4**  
**A410** EXTERIOR ELEVATION  
WEST  
1/8"=1'-0"

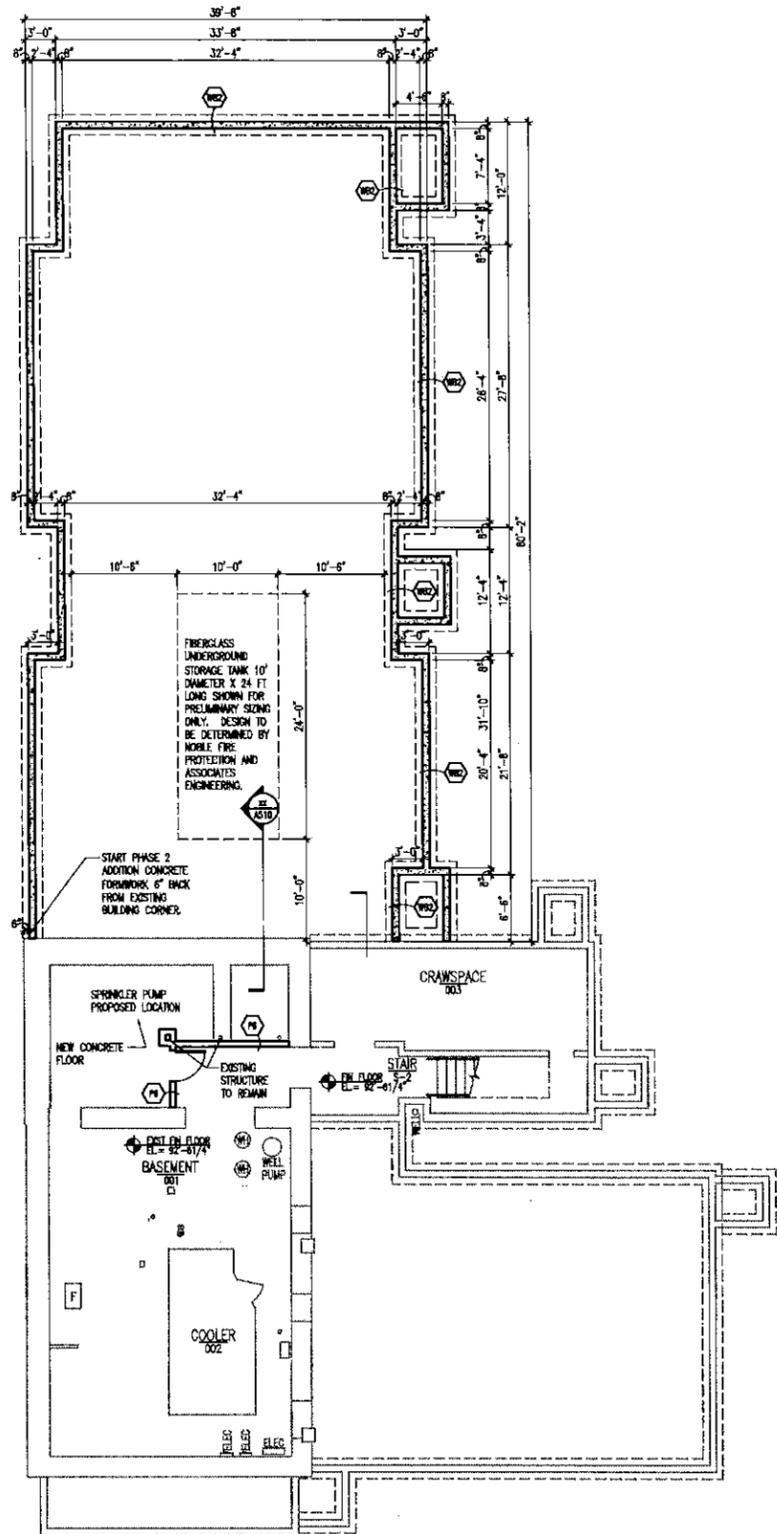
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**PHASE 2 Addition**  
**Pleasant Hill Bar**  
2102 WI-164  
Richfield, Wisconsin 53076

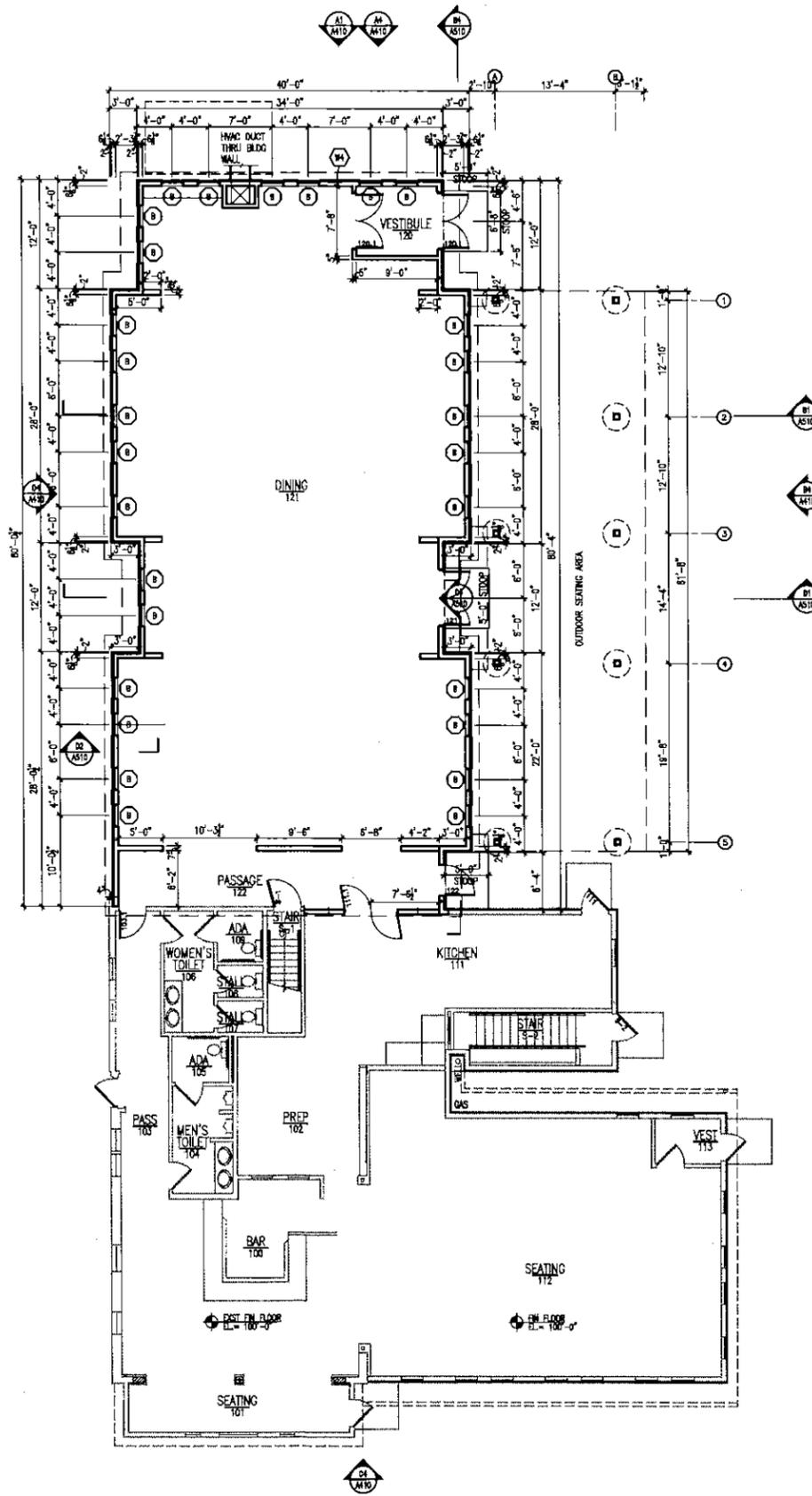
REVISIONS

1	DATE	05-29-2020
2	DATE	05-29-2020

PROJECT ARCHITECTURAL REVIEW DRAWING SET  
FOUNDATION ARCHITECTS PROJECT NUMBER: 19612  
DATE: 05-29-2020  
SHEET TITLE: EXTERIOR ELEVATIONS - FUTURE PHASE 2  
SHEET NUMBER: **A410**



**BASEMENT FLOOR PLAN**  
FIN FLOOR = 92'-8 1/4" (1014.19")  
1/8"=1'-0"



**FIRST FLOOR PLAN**  
FIN FLOOR = 100'-0" (1021.67")  
1/8"=1'-0"

**FLOOR PLAN - SYMBOLS LEGEND**

	NEW WALL OR PARTITION		EXISTING WALLS TO REMAIN
	NEW DOOR		EXISTING DOOR TO REMAIN
	SECTION REFERENCE		DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE		INTERIOR PARTITION P1 TYPICAL LINE
	TWO HOUR FIRE RESISTIVE CONSTRUCTION		WINDOW TYPE, REFER TO 02/800
	CONSTRUCTION LIMITS		

**FLOOR PLAN - GENERAL NOTES**

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

**INTERIOR PARTITION LEGEND**

- P1 SOUND PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 3/4" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- P2 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16" OC W/ 3/4" GLASS FIBER BATT INSULATION & (2) LAYERS 5/8" TYPE X GYP BO EA FACE. PROVIDE 2 HR RATED UL #301 DESIGN WHERE 2 HR CONSTRUCTION IS INDICATED. EXTEND FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY AND TO MATCH FIRE RATING REQUIREMENTS.
- P4 FURRED PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 3/4" GYP BO. COORDINATE RELOCATION OF ELECTRICAL BOXES AND CONDUIT AS NECESSARY TO INSTALL NEW SURFACE. EXTEND 3" MIN ABOVE CEILING HEIGHT.
- P6 SOUND PARTITION: 2x6 WOOD STUDS @ 16" OC W/ 3/4" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.

**EXTERIOR WALL TYPE LEGEND**

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TYPE W# UNLESS NOTED OTHERWISE.
  2. ALL EXTERIOR WALLS (BELOW GRADE) TYPE W#2 UNLESS NOTED OTHERWISE.
  3. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF SIDING STYLE AND PATTERN CHANGES.

- W#1 EXTERIOR WALL: STUD WALL CONSISTING OF 1/2" SMARTRITE SIDING, 1/4" XPS CONTINUOUS INSULATION, 1/2" ZIP WALL SHEATHING SYSTEM W/ INTEGRAL WEATHER AND AIR BARRIER, 2x6 WOOD STUDS @ 16" O.C. WITH FULL THICKNESS R-20 BATT INSULATION, VAPOR RETARDER AND (1) LAYER 1/2" TYPE X GYPSUM BOARD AT INTERIOR FACE. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
- W#2 EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. EXTEND HORIZONTAL INSULATION WHERE IN-SLAB RADIANT HEATING IS PROVIDED. COORDINATE WORK WITH DESIGN BUILD HVAC. REFER TO DRAWINGS FOR WALL THICKNESSES.



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CONSULTANT

PROJECT TITLE AND LOCATION

**PHASE 2 Addition**  
**Pleasant Hill Bar**  
2102 WI-164  
Richfield, Wisconsin 53076

REVISIONS

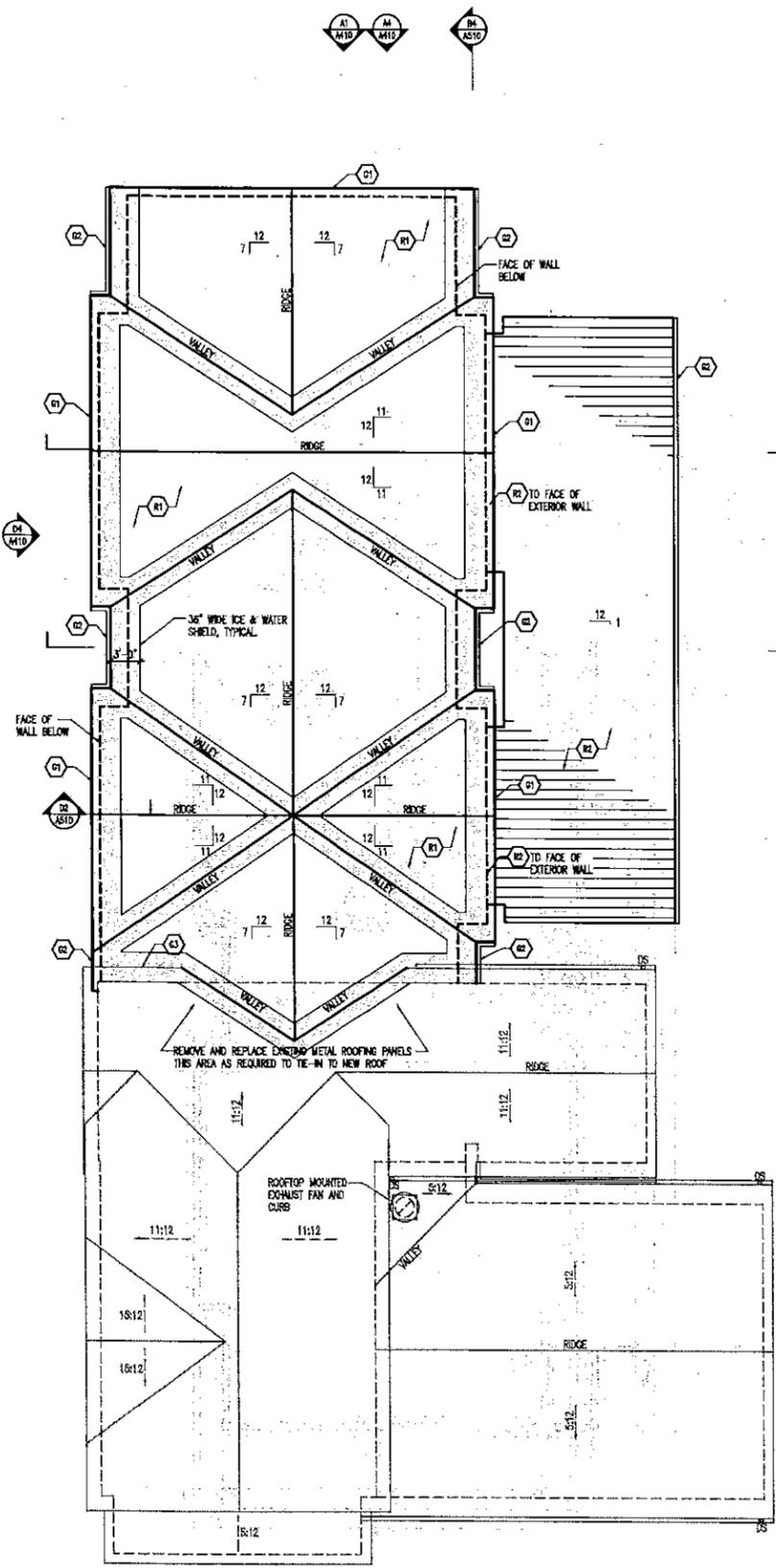
	02-17-2020	ADDENDUM 2

W# TYPE  
ARCHITECTURAL REVIEW DRAWING SET  
FOUNDATION ARCHITECTS PROJECT NUMBER  
19012

DATE  
05-28-2020

SHEET TITLE  
BASEMENT FLOOR PLAN  
FIRST FLOOR PLAN  
SHEET NUMBER

**A210**



ROOF PLAN  
1/8"=1'-0"

ROOF PLAN - SYMBOLS LEGEND

- DIRECTION OF ROOF PITCH
- VALLEY OR RIDGE
- EXTENT OF ICE AND WATER SHIELD
- - - CONSTRUCTION LIMITS

ROOF PLAN - GENERAL NOTES

- A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS.
- B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

ROOF CONSTRUCTION LEGEND

- (R1) ASPHALT SHINGLE ROOFING SYSTEM: SHINGLES, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 1/2" PLYWOOD ROOF SHEATHING ON 2x WOOD ROOF STRUCTURE, REFER TO STRUCTURAL.
- (R2) PREFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON SLIP SHEET, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 1/2" PLYWOOD ROOF SHEATHING ON 2x WOOD ROOF STRUCTURE, REFER TO STRUCTURAL.
- (R3) METAL FASCIA: PREFINISHED ANODIZED ALUMINUM FASCIA ON EXTERIOR GRADE PLYWOOD, FASTEN TO STRUCTURE PER SPECIFICATION.
- (R4) GUTTER AND DOWNSPOUT: PAINTED METAL SEAMLESS GUTTER FORMED IN THE "T" STYLE SHAPE WITH 5" CONDUCTORS AS LOCATED ON DRAWINGS. PROVIDE CONCRETE SPLASH BLOCK, AS SPECIFIED, AT EACH CONDUCTOR LOCATION. PROVIDE AND INSTALL DEBRIS SCREENS AT ENTIRE LENGTH OF EACH GUTTER.
- (R5) METAL COUNTERFLASHING: TWO PIECE "SNAP-IN" METAL COUNTERFLASHING W/ REDEWER WEDGED-IN-PLACE IN SAWN CUT JOINT (6" HIGH x 1/2" DEEP), SECURE 1/4" LONG MOUNTING FLANGE WITH LEAD WEDGES AND SEAL WITH BACKER ROD AND SEALANT.
- (R6) METAL COUNTERFLASHING: METAL COUNTERFLASHING W/ UPTURNED LIP EXTENDED 6" MIN UP VERTICAL FACE OF WALL SHEATHING BENEATH SIDING AND BUILDING WRAP.

FLOOR PLAN - SYMBOLS LEGEND

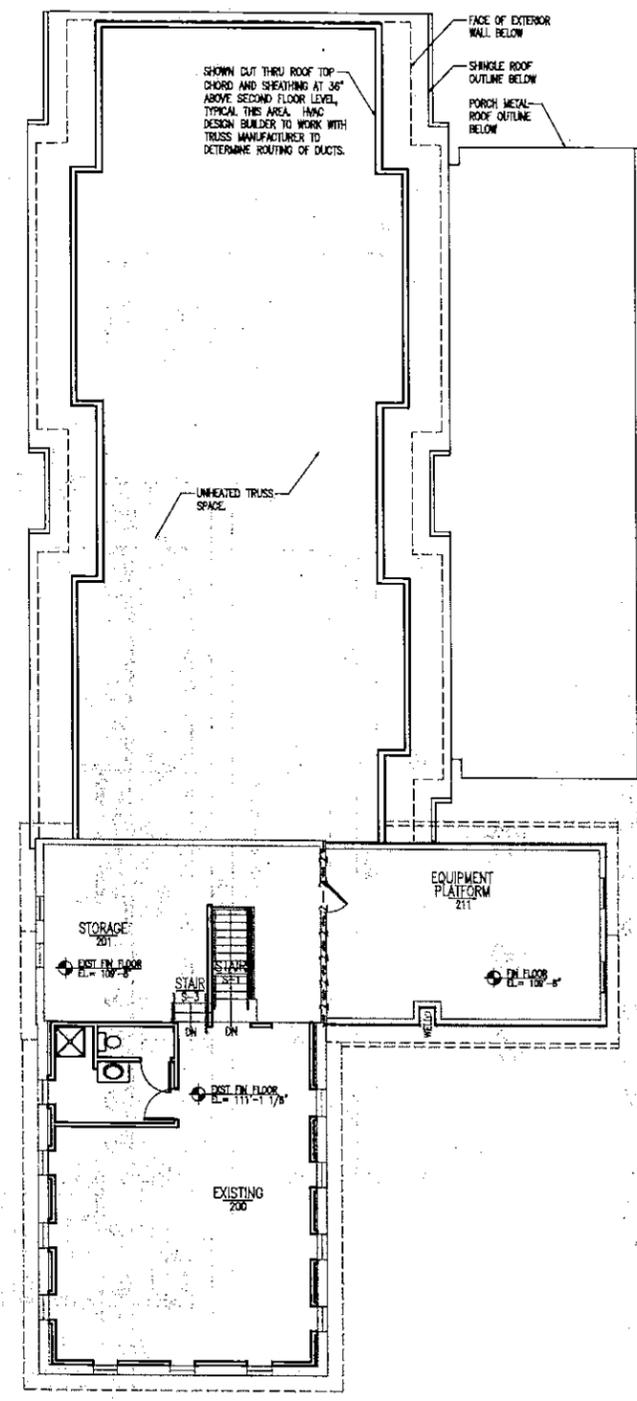
- NEW WALL OR PARTITION
- EXISTING WALLS TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- SECTION REFERENCE
- DETAIL REFERENCE
- INTERIOR ELEVATION REFERENCE
- INTERIOR PARTITION P1 TYPICAL UNO
- TWO HOUR FIRE RESISTIVE CONSTRUCTION
- WINDOW TYPE, REFER TO D2/AR00
- - - CONSTRUCTION LIMITS

FLOOR PLAN - GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

INTERIOR PARTITION LEGEND

- (P1) SOUND PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- (P2) 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16" OC W/ 3" GLASS FIBER BATT INSULATION & (2) LAYERS 5/8" TYPE X GYP BO EA FACE. PROVIDE 2 HR RATED UL ALUO1 DESIGN WHERE 2 HR CONSTRUCTION IS INDICATED. EXTEND FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY AND TO MATCH FIRE RATING REQUIREMENTS.
- (P4) FURRED PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 5/8" GYP BO. COORDINATE RELOCATION OF ELECTRICAL BOXES AND CONDUIT AS NECESSARY TO INSTALL NEW SURFACE. EXTEND 3" MIN ABOVE CEILING HEIGHT.
- (P5) SOUND PARTITION: 2x6 WOOD STUDS @ 16" OC W/ 3" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.



SECOND FLOOR PLAN  
FIN FLOOR (NORTH) = 109'-8" (1031.34')  
FIN FLOOR (SOUTH) = 111'-1 1/8" (1032.76')  
1/8"=1'-0"



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CONSULTANT

PROJECT FILE #100000000

PHASE 2 Addition  
Pleasant Hill Bar  
2102 WI-164  
Richfield, Wisconsin 53076

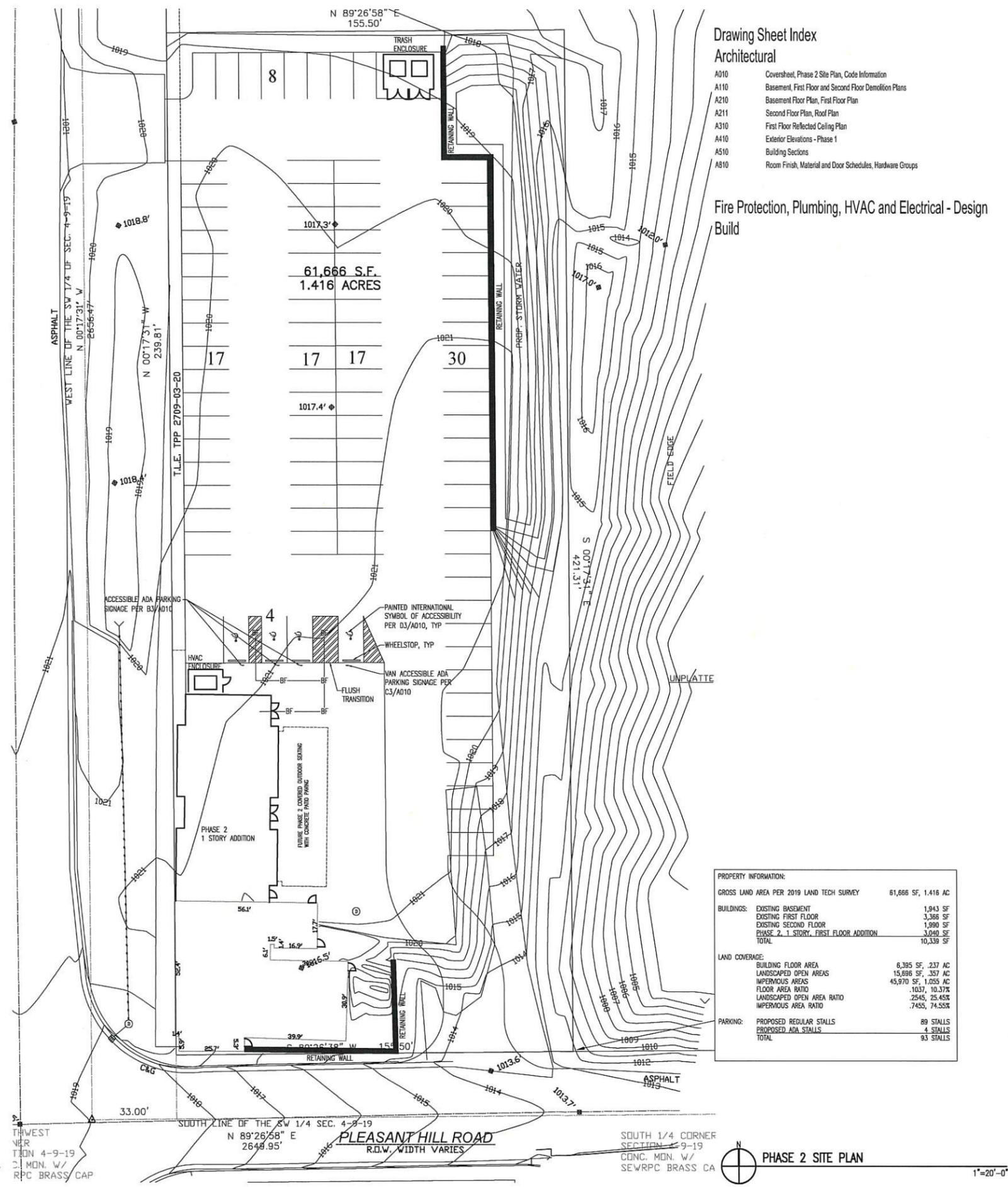


FOUNDATION ARCHITECTS PROJECT NUMBER  
19012

DATE  
05-28-2020

SHEET TITLE  
SECOND FLOOR PLAN  
ROOF PLAN

SHEET NUMBER  
A211



**Drawing Sheet Index**  
Architectural

- A010 Coversheet, Phase 2 Site Plan, Code Information
- A110 Basement, First Floor and Second Floor Demolition Plans
- A210 Basement Floor Plan, First Floor Plan
- A211 Second Floor Plan, Roof Plan
- A310 First Floor Reflected Ceiling Plan
- A410 Exterior Elevations - Phase 1
- A510 Building Sections
- A810 Room Finish, Material and Door Schedules, Hardware Groups

**Fire Protection, Plumbing, HVAC and Electrical - Design Build**

**PROPERTY INFORMATION:**

GROSS LAND AREA PER 2019 LAND TECH SURVEY	61,666 SF, 1.416 AC
<b>BUILDINGS:</b>	
EXISTING BASEMENT	1,943 SF
EXISTING FIRST FLOOR	3,366 SF
EXISTING SECOND FLOOR	1,990 SF
PHASE 2, 1 STORY, FIRST FLOOR ADDITION	3,040 SF
TOTAL	10,339 SF
<b>LAND COVERAGE:</b>	
BUILDING FLOOR AREA	6,395 SF, .237 AC
LANDSCAPED OPEN AREAS	15,696 SF, .357 AC
IMPERVIOUS AREAS	45,970 SF, 1.055 AC
FLOOR AREA RATIO	.1037, 10.37%
LANDSCAPED OPEN AREA RATIO	.2545, 25.45%
IMPERVIOUS AREA RATIO	.7455, 74.55%
<b>PARKING:</b>	
PROPOSED REGULAR STALLS	89 STALLS
PROPOSED ADA STALLS	4 STALLS
TOTAL	93 STALLS

**Project Location Map**



**Code and Zoning Information**

2018 Wisconsin Commercial Building Code  
Tavern, Assembly Occupancy, Group A-2  
Storage, Un-Separated use.  
Commercial Kitchen, Un-Separated use.  
Business Occupancy, Group B, Second Floor Existing Use  
Business Occupancy Equipment Platform, Group B, Second Floor Separated use.  
Zoning: B-4 Highway Business District, Village of Richfield ordinances  
Additional Type of Construction: Type VB, Un-protected - Fully Sprinklered Per NFPA 13, 2 Story with Basement

**Building Data:**

Existing Basement	1,943 sq ft
Existing First Floor	3,366 sq ft
Dining Addition First Floor	3,040 sq ft
Existing Second Floor	1,990 sq ft
Total	10,339 sq ft

**Occupant Load (By Calculation)**  
Existing Building Basement Accessory Storage Areas:  
7 Persons Gross Storage Area (1,943 sf / 300 sf / Person)  
First Floor Tavern / Restaurant:  
Tavern Assembly Areas: 88 Persons Net A-2 Occupancy (1,311 sf / 15 sf / Person)  
Bar Service Areas: 3 Persons (185 sf / Actual Count)  
Kitchen Areas: 4 Persons Gross A-2 Occupancy (741 sf / 200 sf / Person)  
New Dining Area: 202 Persons Net A-2 Occupancy (3,040 sf / 15 sf / Person)  
Second Floor Business Areas & Equipment Platform:  
20 Persons Gross B Occupancy (1,990 sf / 100 sf / Person)

**Exiting:**  
Basement: Required Aggregate Exit Width: 32' Clear (5 Persons x 0.2) Actual: 33.5'  
First Floor Required Aggregate Exit Width: 32' Clear (95 Persons x 0.2) Actual: 167.5'  
Second Floor Required Aggregate Exit Width: 32' Clear (20 Persons x 0.2) Actual: 33.5'  
Second floor has one exit with less than 75' common path.

**Toilet Rooms:**  
No Changes to Existing Toilets.

**Parking Requirements:**  
Proposed Stalls: 93 Total: 89 Regular, 4 ADA w/ 1 Van Accessible

**ADA Access Route:**  
This sheet indicated with "BF" and Arrows.

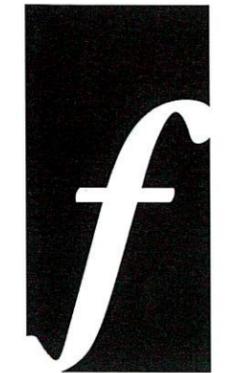
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**Structural Engineer**  
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Peter Bartrik  
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pete@ise-llc.net

**Fire Protection, Plumbing, HVAC and Electrical Engineer - Design Build By Others**

**Owner**  
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**PHASE 2 Addition**  
**Pleasant Hill Bar**  
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Richfield, Wisconsin 53076

**REVISIONS**

01-28-2020	SITE REVISIONS
02-11-2020	SITE REVISIONS
03-04-2020	SITE REVISIONS
03-11-2020	SITE REVISIONS
03-18-2020	SITE REVISIONS
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07-17-2022	SITE REVISIONS
07-24-2022	SITE REVISIONS
07-31-2022	SITE REVISIONS
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09-01-2025	SITE REVISIONS
09-08-2025	SITE REVISIONS
09-15-2025	SITE REVISIONS
09-22-2025	SITE REVISIONS

DEMOLITION PLAN - SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING WALLS TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING ITEM TO REMAIN		EXISTING ITEM TO BE REMOVED
	CONSTRUCTION LIMITS		

DEMOLITION PLAN - GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. VERIFY ELECTRICAL IN PARTITIONS SHOWN TO BE DEMOLISHED AND RELOCATE PER CODE. COORDINATE WITH DESIGN BUILD PLANS.
- CONSTRUCT A DUST-PROOF PARTITION TO CONTAIN AREAS OF CONSTRUCTION.
- WHERE EXISTING PLUMBING IS REACHED CAP PER CODE AND FIRE SEAL OR INFILL PENETRATION TO MATCH EXISTING CONSTRUCTION.
- REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT. RECEIVE AUTHORIZATION FROM JOHN LOOSEN AND PLEASANT HILL BAR IF DISRUPTION WILL AFFECT THEIR OPERATION.
- REMOVE FLOOR FINISHES, INCLUDING SETTING BED IN CERAMIC TILE AREAS, WHERE NEW FLOORING IS INDICATED.
- REMOVE SUSPENDED CEILINGS AND RELATED HANGERS, OR GYPSUM BOARD/ PLASTER CEILINGS WHERE NEW CEILINGS ARE INDICATED ON REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE.
- REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS IN AREAS INDICATED TO RECEIVE NEW FINISHES INCLUDING BUT NOT LIMITED TO, CABINETS, EQUIPMENT, SHELVING, HANDRAILS, CLOSET POLES, MIRRORS, WALL AND CEILING TRIM, BASE.



foundation architects LLC

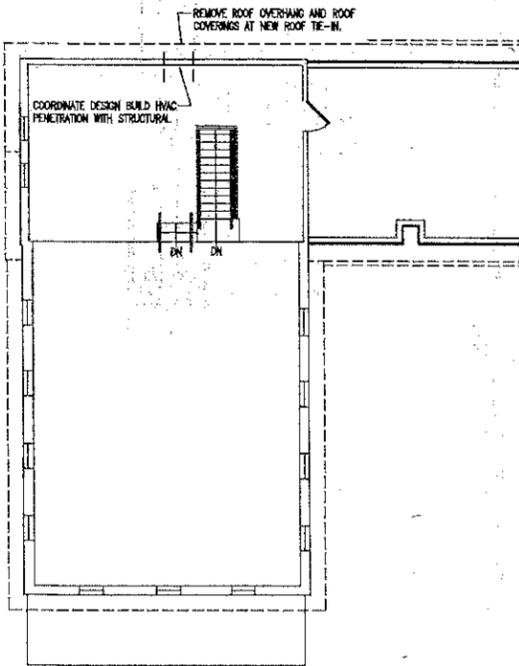
2626 S. Greeley Street, Ste 203  
Milwaukee, WI 53207

info@foundationarchitects.com  
Phone (414) 403-3433

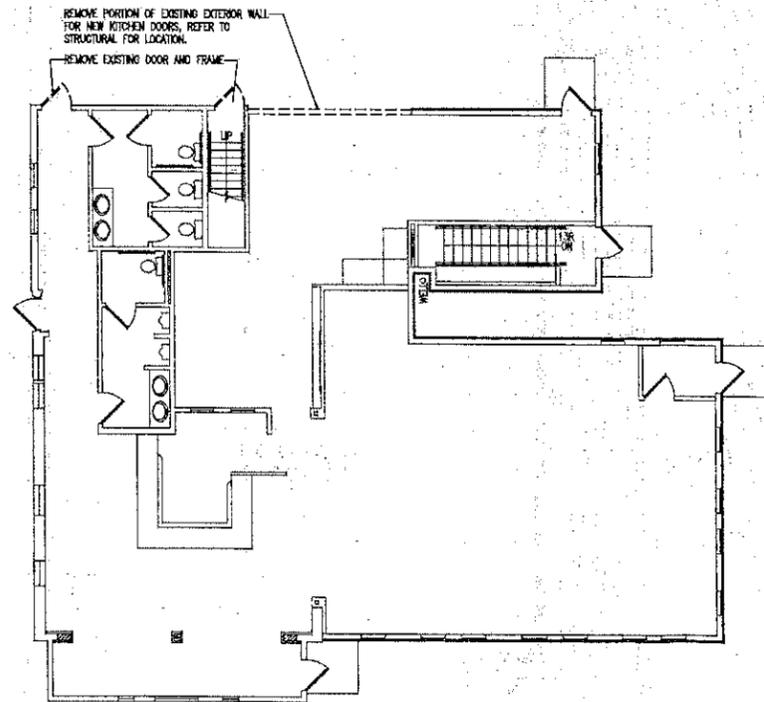
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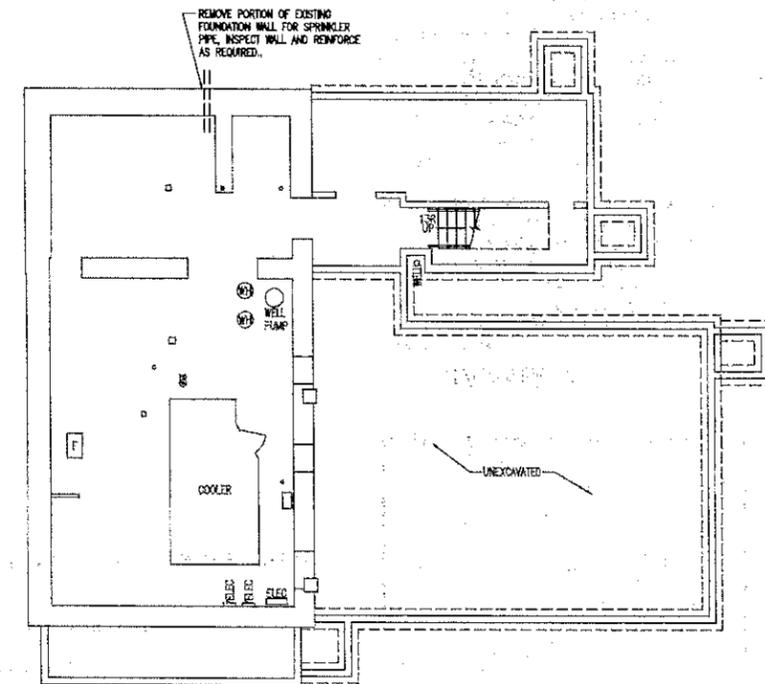
PROJECT FILE NUMBER



SECOND FLOOR DEMOLITION PLAN  
1/8"=1'-0"



FIRST FLOOR DEMOLITION PLAN  
1/8"=1'-0"

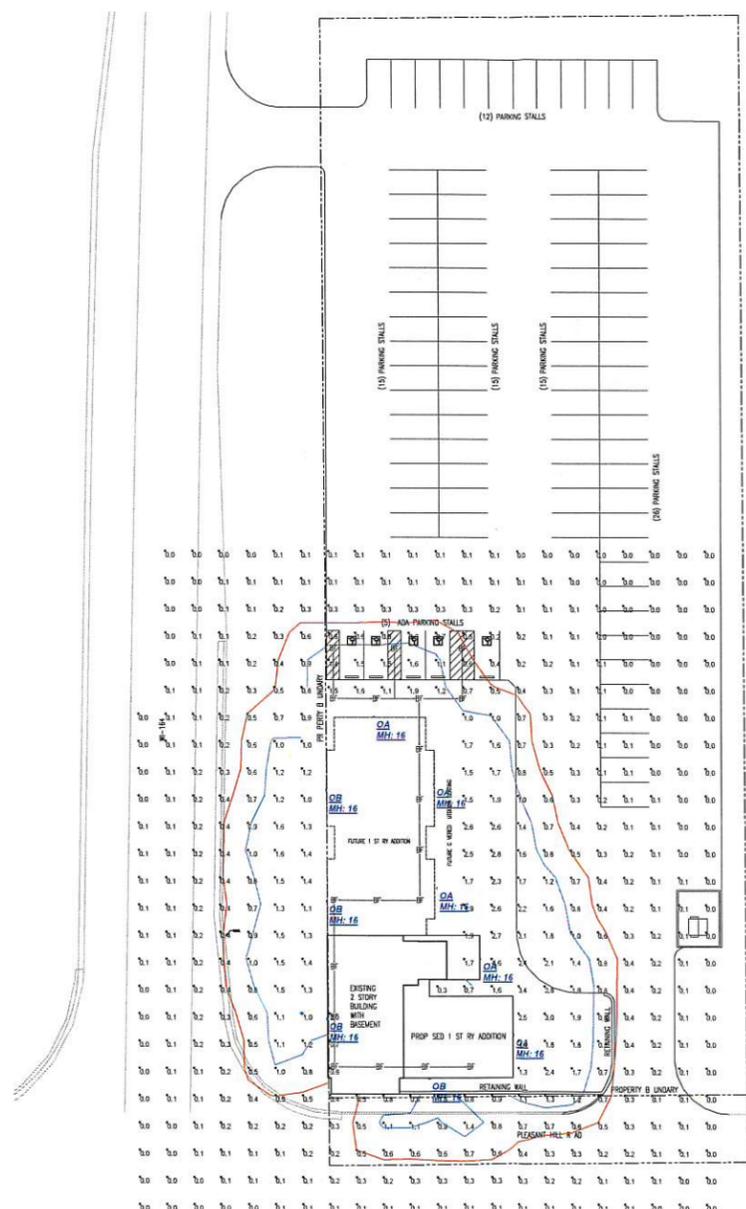


BASEMENT DEMOLITION PLAN  
1/8"=1'-0"

PHASE 2 Addition  
Pleasant Hill Bar  
2102 WI-164  
Richfield, Wisconsin 53076

REVISIONS	
SET TYPE	ARCHITECTURAL REVIEW DRAWING SET
FOUNDATION ARCHITECTS PROJECT NUMBER	19012
DATE	05-28-2020
WHERE BUILT	BASEMENT, FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS
SET NUMBER	

A110



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.51	4.6	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Description	Arrangement	Total Lamp Lumens	Lum. Lumens	Lum. Watts	LLF	
□	5	OA	LNC2-18L-4K-070-4	SINGLE	N.A.	4270	43.227	0.900	
□	4	OB	LNC2-12L-4K-070-4	SINGLE	N.A.	2783	28.6	0.900	

1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

MLAZGAR ASSOCIATES  
 720 LARRY CT.  
 WAUKESHA, WI 53186  
 (p) 414-943-1915  
 www.mlazgar.com



#	Date	Comments

RLMA Project #: 86953  
 Drawn By: MB  
 Date: 10/15/2019  
 Scale: 1"=30'-0"

**SITE PHOTOMETRIC PLAN**  
 PLEASANT HILL PUB & GRILL  
 RICHFIELD, WI