



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**VILLAGE HALL**  
**4128 HUBERTUS ROAD, HUBERTUS WISCONSIN**  
**January 15, 2020**  
**6:00 P.M.**

*Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Richfield Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. Notice of Village Board Quorum (Chairperson to announce the following if a quorum of the Village Board is an attendance at the meeting: "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during Public Hearings, or if the rules are suspended to allow them to do so.")*

1. Call to Order/ Roll Call
2. Verification of Open Meetings Law compliance
3. Pledge of Allegiance
4. DISCUSSION/ACTION
  - a. Discussion and possible recommendation to the Plan Commission regarding a Site, Building and Plan of Operation petition for the business expansion of Pleasant Hill Bar and Grill, for property located at 2102 STH 164 (Tax Key: V10\_008200Z) – *Pleasant Hill Management LLC, petitioner*
  - b. Discussion regarding the list of permissible and prohibited building materials contained in Section 70.133 of the Village Code
5. ADJOURNMENT

Additional explanation of items on the agenda (Communication Forms) can be found on the village's website at [www.richfieldwi.gov](http://www.richfieldwi.gov). Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's office at 628-2260 or [www.richfieldwi.gov](http://www.richfieldwi.gov) with as much advanced notice as possible.



# VILLAGE OF RICHFIELD

## ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: January 15, 2020

SUBJECT: Reconsideration of Pleasant Hill Pub and Grill – 2102 STH 164 (Tax Key: V10\_008200Z)  
DATE SUBMITTED: January 10, 2020  
SUBMITTED BY: Jim Healy, Village Administrator

*POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED BUILDING EXPANSION?*

*ISSUE SUMMARY:*

Tonight, the Architectural Review Board will be reviewing the fourth generation of plans for the Pleasant Hill Pub and Grill, the site of the former Hairy Lemon located at the northeast intersection of Pleasant Hill Road and STH 164. This proposal, is considered a “reconsideration” because it was previously conditionally approved in July of 2019 with the following motion:

Motion by Commissioner Duehring to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill, located at 2102 STH 164, as presented and subject to the following conditions of approval:

- 1) The petitioner shall provide to the satisfaction of the Staff and the Architectural Review Board Chairman, the annotated drawings for the proposed design and materials and architectural elements referenced during the presentation on July 17, 2019 to the Architectural Review Board.
- 2) The petitioner shall provide to the satisfaction of the Building Inspector the plan for any rooftop electrical equipment so that the only visible rooftop mechanical vents are from the existing HVAC system.
- 3) The approval of the Architectural Review Board does not waive the necessity of obtaining all necessary approvals and permits from the Building Inspection Department and any other permitting jurisdiction.

Seconded by Commissioner Otto; Motion passed without objection.

The proposal before you tonight is a 1,637sqft addition in the form of two (2) architectural projections to the east and a small vestibule on the northwest corner of the building. The primary building materials, as labeled, are permissible materials pursuant to Section 70.133 of the Zoning Code. These materials are noted on the drawings on Sheet A400 in the legend on the upper right-hand corner of the page. If the members were inclined to do so, the residing of the existing building has already started to take shape and in the opinion of Village Staff is a considerable improvement.

In terms of commentary on the exterior elevations, these designs are different than what was originally proposed and approved by the Architectural Review Board and that is why it is before you tonight. It is the opinion of Staff that this design iteration is more successful in the massing and proportion of the building. If there were two (2) comments for suggested improvements on this design, it would be to elongate the windows similar to the existing character of the building and to utilize a shed room on the north elevation to extend the vestibule area with some nicely shaped posts for an enhanced covered entrance. Being on the northside of this building, it will experience the brunt of the weather and may serve as a low-cost enhancement to the building that his patrons will notice.

Staff believes that this is the most complete set of drawings received to date and the architect and property owner should be commended for the efforts putting this design package together.



# VILLAGE OF RICHFIELD

## ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: January 15, 2020

SUBJECT: Reconsideration of Pleasant Hill Pub and Grill – 2102 STH 164 (Tax Key: V10\_008200Z)  
DATE SUBMITTED: January 10, 2020  
SUBMITTED BY: Jim Healy, Village Administrator

*FUTURE IMPACT AND ANALYSIS:*

REVIEWED BY: \_\_\_\_\_

*Village Deputy Treasurer*

Forward to Plan Commission: Yes  
Additional Approvals Needed: Yes

*ATTACHMENTS:*

1. Building design submitted by Foundation Architects LLC dated 12/3/2019

*STAFF RECOMMENDATION:*

Motion to recommend approval to the Plan Commission for the proposed design elevations for the building expansion of Pleasant Hill Pub and Grill located at 2102 STH 164 (Tax Key: V10\_008200Z ), as designed.

APPROVED FOR SUBMITTAL BY:

VILLAGE CLERK USE ONLY  
BOARD ACTION TAKEN

\_\_\_\_\_  
Village Staff Member

\_\_\_\_\_  
Village Administrator

Resolution No. \_\_\_\_\_  
Ordinance No. \_\_\_\_\_  
Approved \_\_\_\_\_  
Other \_\_\_\_\_

Continued To: \_\_\_\_\_  
Referred To: \_\_\_\_\_  
Denied \_\_\_\_\_  
File No. \_\_\_\_\_





DEMOLITION PLAN - SYMBOLS LEGEND

=====	EXISTING WALLS TO REMAIN		EXISTING DOOR TO REMAIN
-----	EXISTING WALLS TO BE REMOVED		EXISTING DOOR TO BE REMOVED
-----	EXISTING ITEM TO REMAIN	-----	EXISTING ITEM TO BE REMOVED
-----	CONSTRUCTION LIMITS		

DEMOLITION PLAN - GENERAL NOTES

- A. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. VERIFY ELECTRICAL IN PARTITIONS SHOWN TO BE DEMOLISHED AND RELOCATE PER CODE. COORDINATE WITH DESIGN BUILD PLANS.
- B. CONSTRUCT A DUST-PROOF PARTITION TO CONTAIN AREAS OF CONSTRUCTION.
- C. WHERE EXISTING PLUMBING IS REMOVED CAP PER CODE AND FIRE SEAL OR IN-fill PENETRATION TO MATCH EXISTING CONSTRUCTION.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MOORE EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT. OBTAIN AUTHORIZATION FROM JOHN LOOSER AND PLEASANT HILL BAR IF DISRUPTION WILL AFFECT THEIR OPERATION.
- F. REMOVE FLOOR FINISHES, INCLUDING SETTING BED IN CERAMIC TILE AREAS, WHERE NEW FLOORING IS INDICATED.
- G. REMOVE SUSPENDED CEILINGS AND RELATED HANGERS, OR GYPSUM BOARD/ PLASTER CEILINGS WHERE NEW CEILINGS ARE INDICATED ON REFLECTED CEILING PLAN OR ROOM FINISH SCHEDULE.
- H. REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS IN AREAS INDICATED TO RECEIVE NEW FINISHES INCLUDING BUT NOT LIMITED TO, CABINETS, EQUIPMENT, SHELVEING, HANDRAILS, CLOSET POLES, MIRRORS, WALL AND CEILING TRIM, BASE.



**foundation architects** LLC

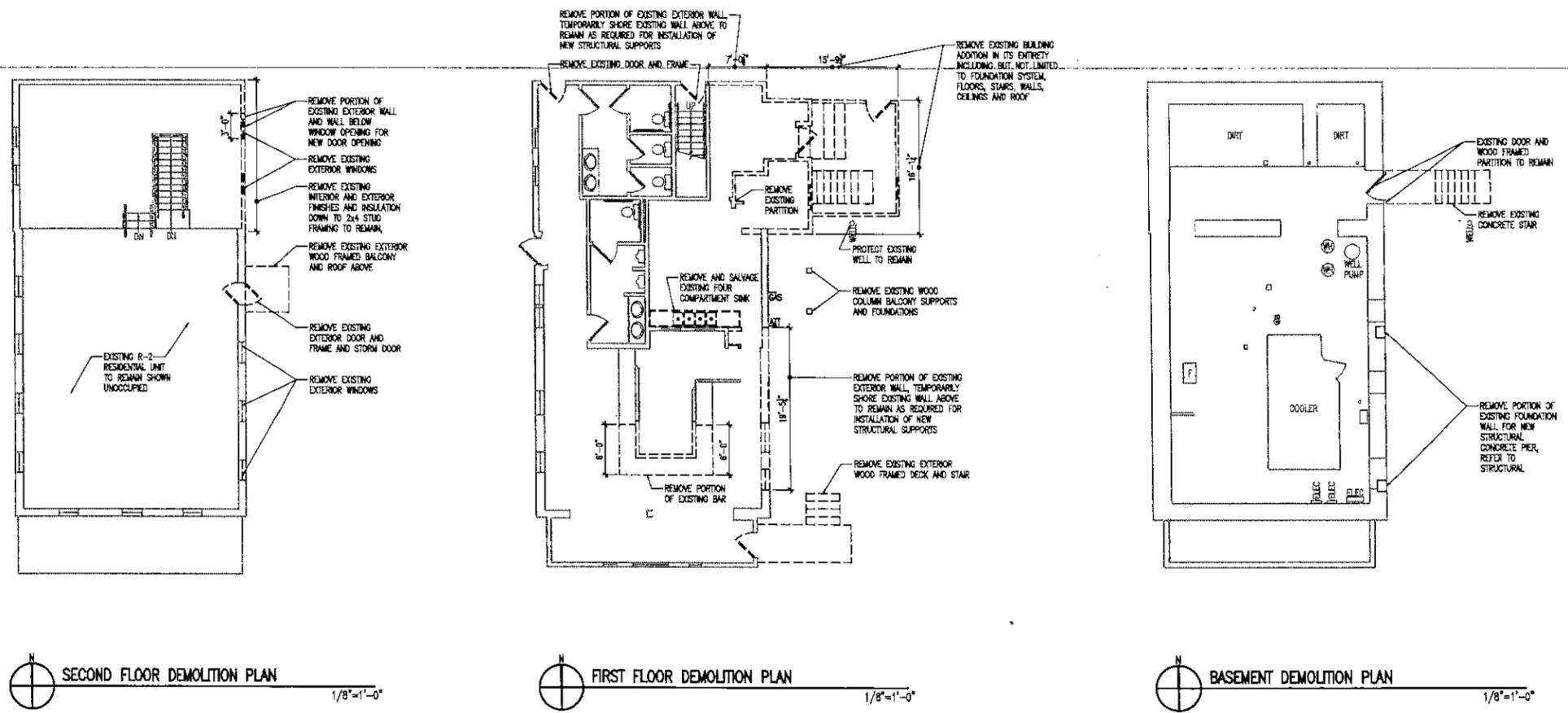
2625 S. Greeley Street, Ste 203  
Milwaukee, WI 53207

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Phone (414) 403-3433

www.foundationarchitects.com

CONSTRUCTION

PROJECT TITLE AND LOCATION



Pleasant Hill Bar  
Addition and Renovation  
2102 WI-164  
Richfield, Wisconsin 53076

REVISED

DATE

PERMIT DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER  
19012

DATE  
12-3-2019

SHEET TITLE  
BASEMENT, FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS

SHEET NUMBER  
**A100**



**foundation architects LLC**

2825 S. Greeley Street, Ste 203  
Milwaukee, WI 53207

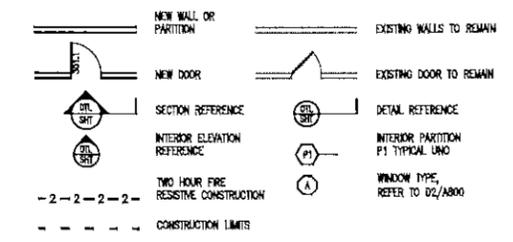
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CONSULTING

PROJECT SITE AND LOCATION

**FLOOR PLAN - SYMBOLS LEGEND**



**FLOOR PLAN - GENERAL NOTES**

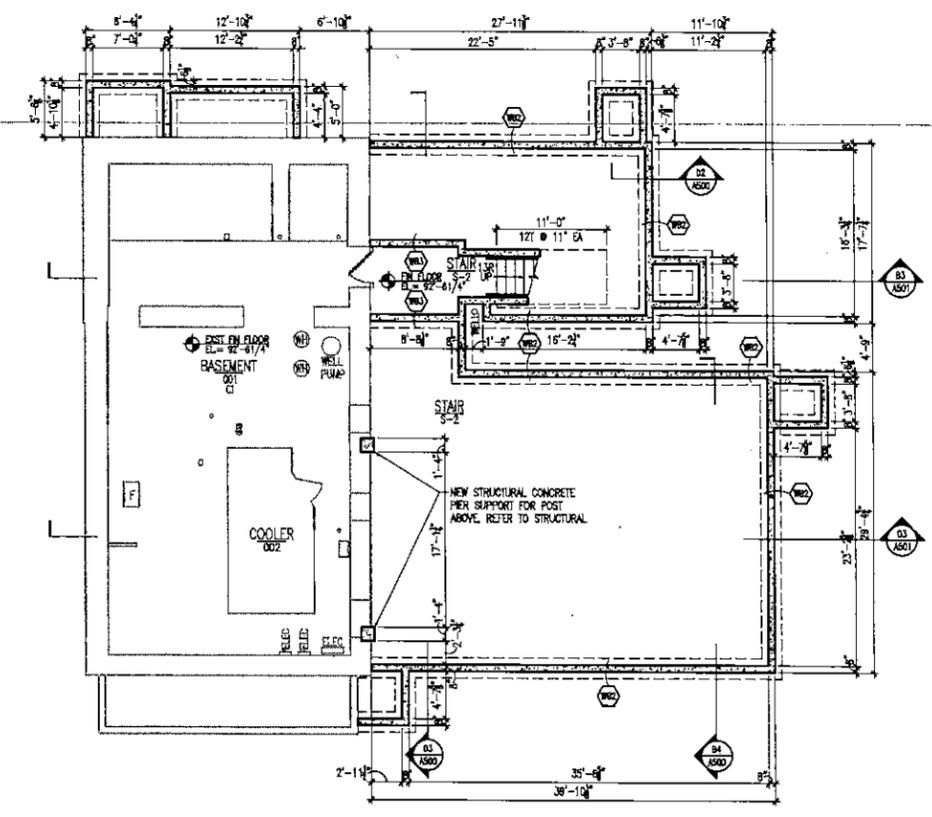
- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

**INTERIOR PARTITION LEGEND**

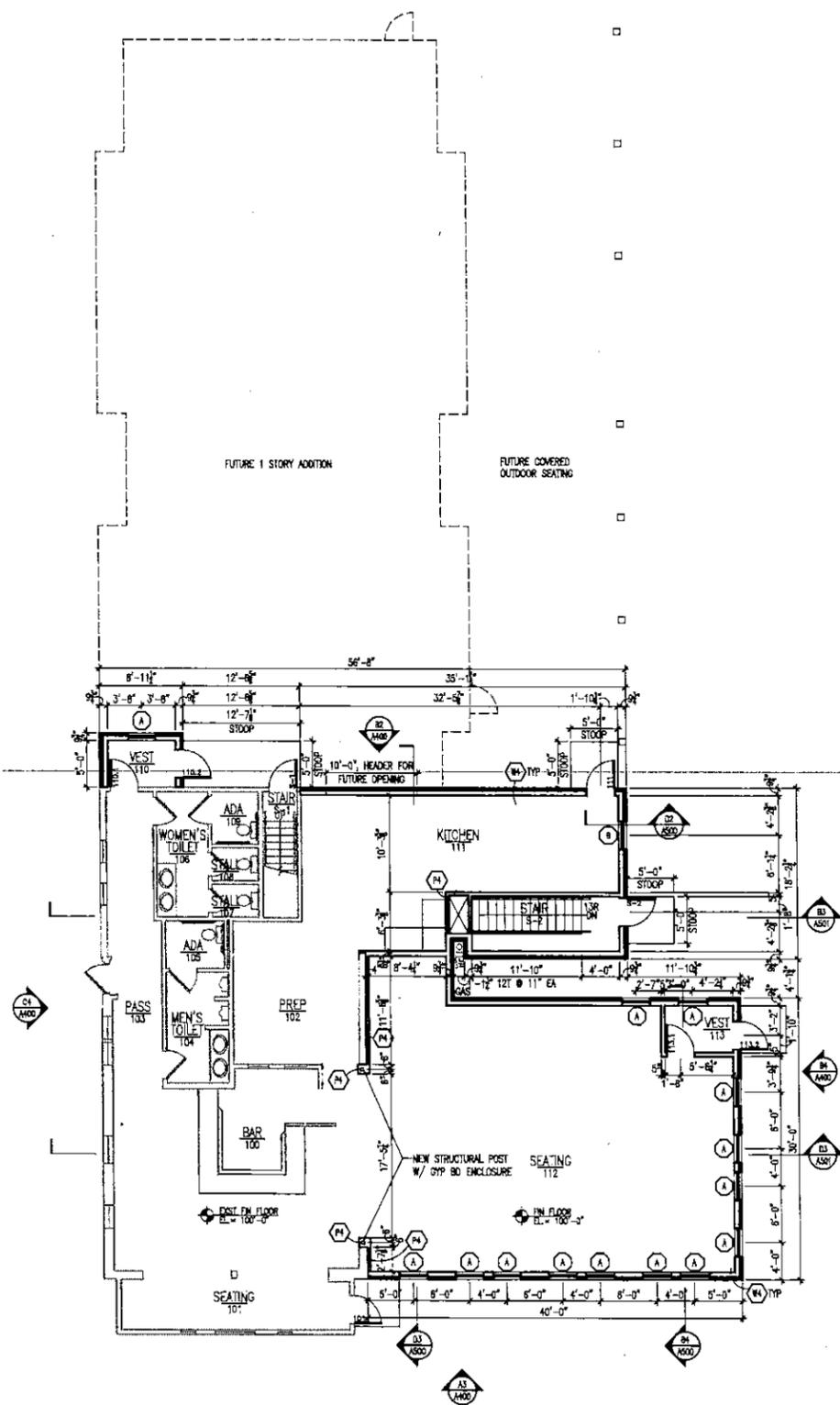
- (P1)** SOUND PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 3" SOUND ATTENUATION INSUL & 3/4" GYP BD EA FACE. PROVIDE SEALANT AT ALL GYP BD PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- (P2)** 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16" OC W/ 3/4" CLASS FIBER BATT INSULATION & (2) LAYERS 3/4" TYPE X GYP BD EA FACE. PROVIDE 2 HR RATED UL (A)1001 DESIGN WHERE 2 HR CONSTRUCTION IS INDICATED. EXTEND FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE. PROVIDE SEALANT AT ALL GYP BD PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY AND TO MATCH FIRE RATING REQUIREMENTS.
- (P3)** FURRED PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 3/4" GYP BD. COORDINATE RELOCATION OF ELECTRICAL BOXES AND CONDUIT AS NECESSARY TO INSTALL NEW SURFACE. EXTEND 3" MIN ABOVE CEILING HEIGHT.

**EXTERIOR WALL TYPE LEGEND**

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TYPE W4 UNLESS NOTED OTHERWISE.
  2. ALL EXTERIOR WALLS (BELOW GRADE) TYPE W6C UNLESS NOTED OTHERWISE.
  3. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF SIDING STYLE AND PATTERN CHANGES.
- (W4)** EXTERIOR WALL: STUD WALL CONSISTING OF LP SMARTSIDE SIDING, 2" RIGID INSULATION, SPRAY APPLIED AIR BARRIER ON (1) LAYER 5/8" GLASS MAT GYPSUM SHEATHING, 2x6 WOOD STUDS @ 16" O.C. WITH FULL THICKNESS BATT INSULATION, VAPOR BARRIER AND (1) LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. REFER TO EXTERIOR ELEVATIONS FOR SIDING TYPE AND COLOR CHANGES.
  - (W6C)** EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. REFER TO DRAWINGS FOR THICKNESSES.
  - (W6D)** EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL W/ FLUID APPLIED WATERPROOFING SYSTEM. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB. REFER TO DRAWINGS FOR THICKNESSES.



**BASEMENT FLOOR PLAN**  
FIN FLOOR = 92'-8 1/2" (1014.19')  
1/8"=1'-0"



**FIRST FLOOR PLAN**  
FIN FLOOR = 100'-0" (1021.67')  
1/8"=1'-0"

**Pleasant Hill Bar  
Addition and Renovation**  
2102 WI-164  
Richfield, Wisconsin 53076

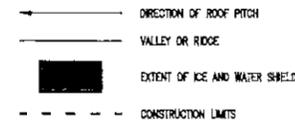
FOUNDATION ARCHITECTS PROJECT NUMBER  
19912

DATE  
12-3-2019

SHEET NO. 4  
BASEMENT FLOOR PLAN  
FIRST FLOOR PLAN

SHEET NUMBER  
**A200**

ROOF PLAN - SYMBOLS LEGEND



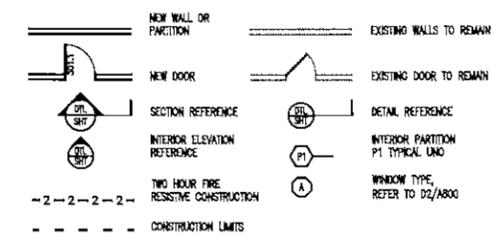
ROOF PLAN - GENERAL NOTES

- A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.
- B. PROVIDE WATER TIGHT INTERSECT AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT MICA STANDARDS.

ROOF CONSTRUCTION LEGEND

- R1 ASPHALT SHINGLE ROOFING SYSTEM: SHINGLES, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 1" PLYWOOD ROOF SHEATHING ON 2x4 WOOD ROOF STRUCTURE, REFER TO STRUCTURAL.
- R2 PERFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON SLIP SHEET, FULL UNDERLAYMENT AND ICE DAM MEMBRANE ON 1" PLYWOOD ROOF SHEATHING ON 2x4 WOOD ROOF STRUCTURE, REFER TO STRUCTURAL.
- R3 METAL FASCIA: PREFINISHED ANODIZED ALUMINUM FASCIA ON EXTERIOR GRADE PLYWOOD. FASTEN TO STRUCTURE PER SPECIFICATION.
- R4 GUTTER AND DOWNSPOUT: PAINTED METAL SEAMLESS GUTTER FORMED IN THE "T" STYLE SHAPE WITH 1/2" CONDUCTORS AS LOCATED ON DRAWINGS. PROVIDE CONCRETE SPLASH BLOCK, AS SPECIFIED, AT EACH CONDUCTOR LOCATION. PROVIDE AND INSTALL DEBRIS SCREENS AT ENTIRE LENGTH OF EACH GUTTER.
- R5 METAL COUNTERFLASHING: TWO PIECE "SWAP-IN" METAL COUNTERFLASHING W/ RESENER WEDGED-IN-PLACE IN SAW CUT JOINT (3/8" HIGH x 1/2" DEEP). SECURE 1/4" LONG MOUNTING FLANGE WITH LEAD WEDGES AND SEAL WITH BACKER ROD AND SEALANT.
- R6 METAL COUNTERFLASHING: METAL COUNTERFLASHING W/ UPRURNED LED EXTENDED 8" MIN UP VERTICAL FACE OF WALL SHEATHING BENEATH SIDING AND BUILDING WRAP.

FLOOR PLAN - SYMBOLS LEGEND

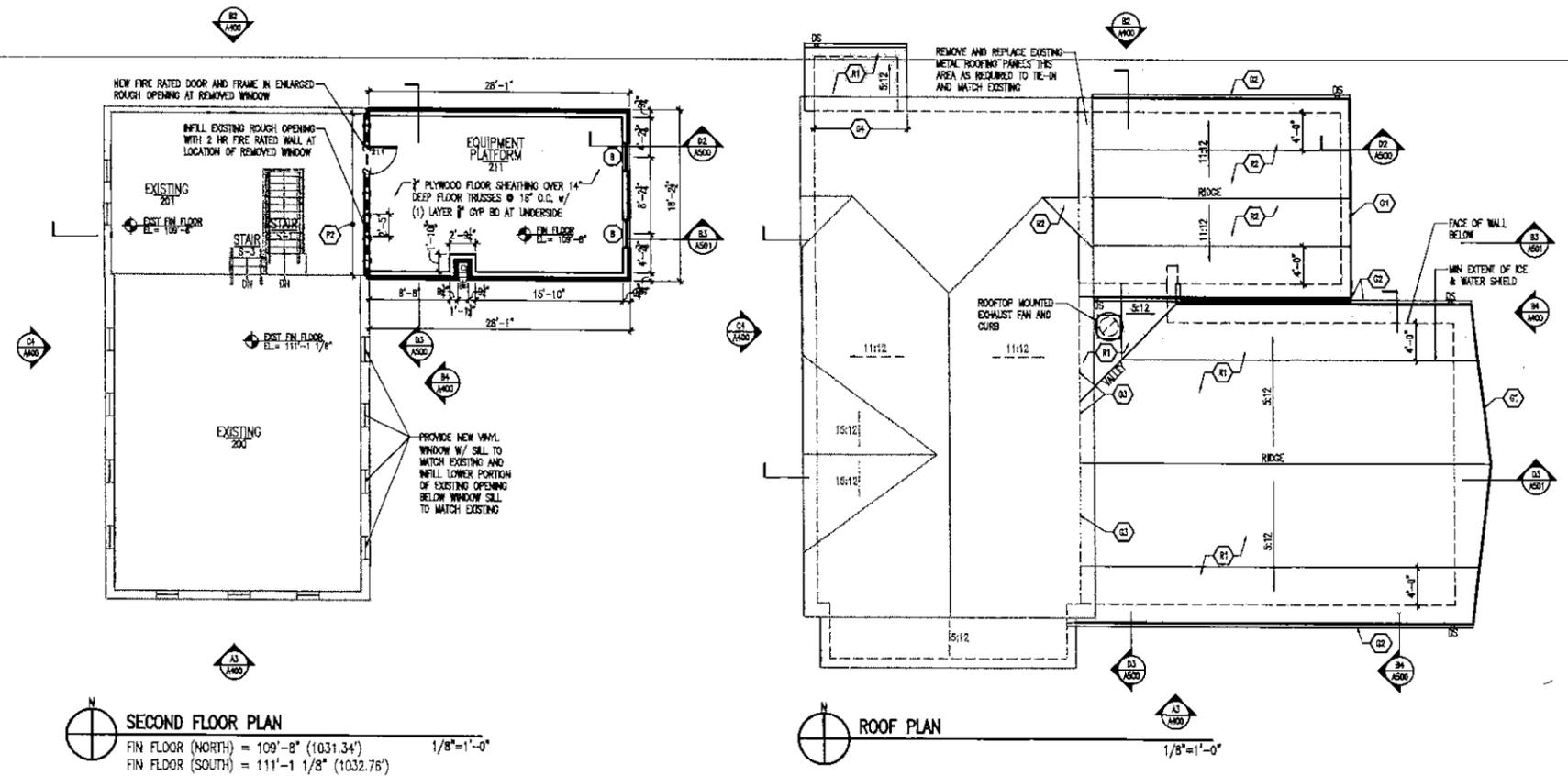


FLOOR PLAN - GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. PROVIDE TEMPERED GLASS IN ALL DOORS AND WHERE REQUIRED BY CODE.
- C. EXTEND ALL NEW SOUND PARTITIONS FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE AND SEAL PERIMETER AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- D. REFER TO DESIGN BUILD PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL ITEMS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

INTERIOR PARTITION LEGEND

- P1 SOUND PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 1/2" SOUND ATTENUATION INSUL & 5/8" GYP BO EA FACE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY.
- P2 2 HR FIRE RATED WALL: 2x4 WOOD STUDS @ 16" OC W/ 3/4" GLASS FIBER BATT INSULATION & (2) LAYERS 5/8" TYPE X GYP BO EA FACE. PROVIDE 2 HR RATED UL LISTED DESIGN WHERE 2 HR CONSTRUCTION IS INDICATED. EXTEND FULL HEIGHT (BOTH SIDES) TO UNDERSIDE OF DECK ABOVE. PROVIDE SEALANT AT ALL GYP BO PERIMETERS AND PENETRATIONS TO REASONABLY SAFEGUARD PRIVACY AND TO MATCH FIRE RATING REQUIREMENTS.
- P3 FURRED PARTITION: 2x4 WOOD STUDS @ 16" OC W/ 1/2" GYP BO. COORDINATE RELOCATION OF ELECTRICAL BOXES AND CONDUIT AS NECESSARY TO INSTALL NEW SURFACE EXTEND 3" MIN ABOVE CEILING HEIGHT.



**SECOND FLOOR PLAN**  
 FIN FLOOR (NORTH) = 109'-8" (1031.34') 1/8"=1'-0"  
 FIN FLOOR (SOUTH) = 111'-1 1/8" (1032.76')

**ROOF PLAN**  
 1/8"=1'-0"



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CONTRACT NO.

PROJECT TITLE AND LOCATION

**Pleasant Hill Bar  
 Addition and Renovation**  
 2102 WI-164  
 Richfield, Wisconsin 53076

REVISION	
NO. TYPE	PERMANENT DRAWING SET
FOUNDATION ARCHITECTS PROJECT NUMBER	19012
DATE	12-3-2018
DRAWING TITLE	SECOND FLOOR PLAN ROOF PLAN
DRAWING NUMBER	A201

CEILING PLAN - SYMBOLS LEGEND

	2'-0" X 4'-0" SUSPENDED EXPOSED GRID WITH LAY-IN ACOUSTIC CEILING PANELS.		RECESSED DOWN LIGHT
	GYPSUM BOARD CEILING OR BULKHEAD		CEILING HEIGHT
	CONSTRUCTION LIMITS		

CEILING PLAN - GENERAL NOTES

- A. LIGHTING DESIGN BUILD BY OTHERS. DESIGN ASSUMES LAYIN ZX4 FIXTURES. LIGHTING SHOWN DIAGRAMMATICALLY FOR SCOPE PURPOSES ONLY.
- B. DESIGN BUILD HVAC TO PROVIDE ACCESS PANELS TO OWNER FOR AREAS WHERE NEW OR ALTERED GYPSUM CEILINGS ARE SHOWN TO PROVIDE ACCESS TO HVAC EQUIPMENT WHERE REQUIRED.



**foundation architects** LLC

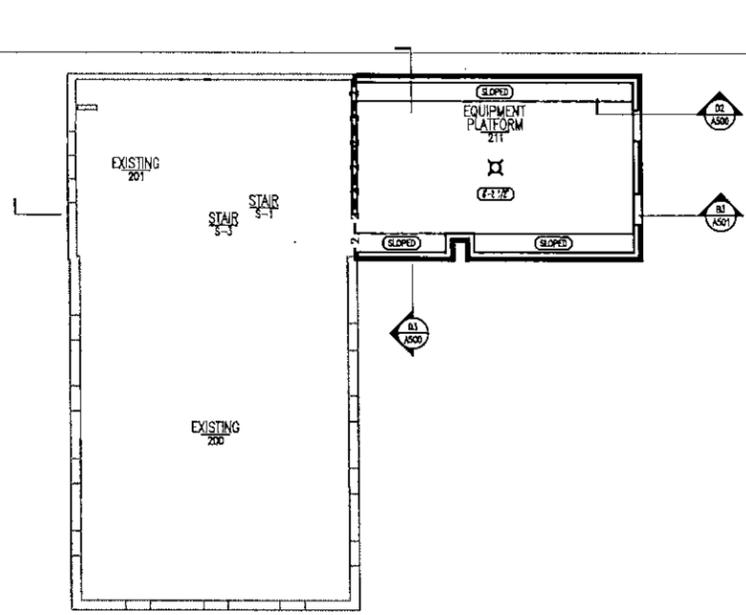
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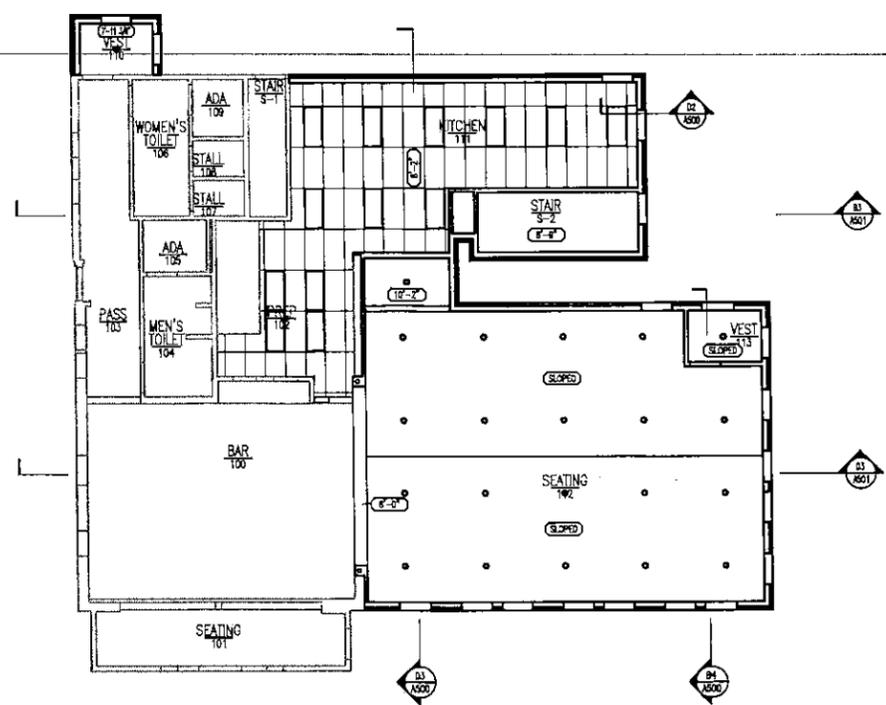
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CONTRACT NO.

PROJECT TITLE AND LOCATION



FIRST FLOOR REFLECTED CEILING PLAN  
1/8"=1'-0"



FIRST FLOOR REFLECTED CEILING PLAN  
1/8"=1'-0"

Pleasant Hill Bar  
Addition and Renovation  
2102 WI-164  
Richfield, Wisconsin 53076


PERMIT DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER  
15012

DATE  
12-3-2019

SHEET TITLE  
FIRST FLOOR REFLECTED CEILING PLAN

SHEET NUMBER

**A300**







MATERIAL SCHEDULE				architecture : Interior design
				FOUNDATION
CODE	PRODUCT	DESCRIPTION	MANUFACTURER	
CAST-IN-PLACE CONCRETE - DIVISION 3				
SCONC-1	Concrete - Sealer	Clear	3M	
ARCHITECTURAL WOODWORKING - DIVISION 6				
WD-1	Wood Veneer	TBD	TBD	
WB-1	Wood Casing & Base	* Profiled Wood Casing and Base Trim to match Existing	-	
FRP-1	Fiberglass Reinfr. Plastic	85 White, Pebbled Embossed Glasbord w/Trim Accessories	Kemlite/Grane Composites	
ACOUSTICAL CEILING - DIVISION 9				
AC-1	Acoustical Ceiling	3270 White, Sheetrock Lay-In Clima Plus - 24"x48"x1/2", w/Sq Edge Use with 15/16" White, Donn grid	USG	
TILE - DIVISION 9				
QT-1	Quarry Tile	Color TBD	TBD	
GR-1	Grout	Natural, Standard Series by Hydrament	Bostik	
RESILIENT FLOORING - DIVISION 9				
RST-1	Resilient Tread w/Integrated Riser	63 Burnt Umber VIRTR-SQ Raised Square Tread w/Tan Grt Tape	Johnsonite	
RB-1	Resilient Base	COLOR TBD, Rubber - 4" High Cove	Johnsonite	
RB-2	Resilient Base	COLOR TBD, Rubber - 2-1/2" High Cove	Johnsonite	
RUB-1	Rubber - Landing Tile	RT-83 Burnt Umber - SQ, Rubber w/Raised Square - 24"x24"	Johnsonite	
C-1	Walk-Off Mat	TBD	TBD	
VOT-1	Vinyl Composition Tile	Color TBD - 12"x12"x1/8"	TBD	
	Subfloor Leveler System	Black, Reduce height to 0 at transition	Johnsonite	
		* Provide Transition Strip TBD by Johnsonite		
PAINT - DIVISION 9 (Room Finish Schedule designations: PAF=FLAT, PAS=SEMI-GLOSS, PAT=SATIN)				
PA-1	Paint	Decorators White	Benjamin Moore	
PA-2	Paint	* Wall color to match existing		
PA-3	Paint	* Wood casing color to match existing		
PA-4	Paint	* Wood base color to match existing		
STN-1	Stain	* Custom color to match Architect sample		

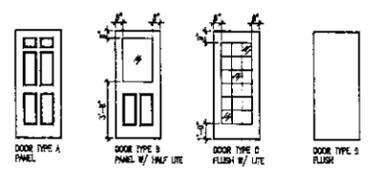
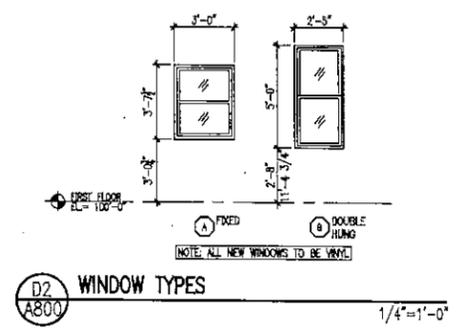
ROOM FINISH SCHEDULE												architecture : Interior design
												FOUNDATION
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	NORTH	EAST	SOUTH	WEST	CEILING	TYPE	NOTES	
<b>BASEMENT</b>												
S-2	STAIR	SCONC-1/RST-1	-	CONC	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
001	BASEMENT	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXPOSED	EXST		
002	COOLER	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
<b>FIRST FLOOR</b>												
S-1	STAIR	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
S-2	STAIR	RUB-1/RST-1	RB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1		
100	BAR	EXST/VOT-1	EXST/WB-1	EXST/GYP BD	EXST	EXST	EXST	EXST	EXST/GYP BD	EXST/WB-1	1,3,4,6,7	
101	SEATING	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
102	PREP	EXST/QT-1	EXST/QT-1	EXST/GYP BD	EXST/FRP-1	EXST/FRP-1	EXST/FRP-1	EXST/FRP-1	EXST	EXST	1,3,4,6	
103	PASSAGE	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
104	MEN'S TOILET	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
105	ADA	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
106	WOMEN'S TOILET	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
107	STALL	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
108	STALL	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
109	ADA	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
110	VESTIBULE	C-1	WB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1	6,7	
111	KITCHEN	QT-1	QT-1	GYP BD	FRP-1	FRP-1	FRP-1	FRP-1	SUSP	AC-1	5	
112	SEATING	VOT-1	WB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1	6,7	
113	VESTIBULE	C-1	WB-1	GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1	6,7	
<b>SECOND FLOOR</b>												
S-1	STAIR	EXST	EXST	-	-	-	-	-	EXST	EXST		
S-3	STAIR	RST-1	WB-1	-	-	-	-	-	EXST	EXST		
200	EQUIPMENT PLATFORM	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST		
201	EQUIPMENT PLATFORM	EXST	EXST	EXST/GYP BD	EXST	EXST	EXST	EXST	EXST	EXST	3,6,7	
211	EQUIPMENT PLATFORM	PLYWOOD	WB-1	EXST/GYP BD	PAT-2	PAT-2	PAT-2	PAT-2	GYP BD	PAF-1	6,7	

- GENERAL NOTES**
- \* Provide transition strips at all changes in floor finish.
  - \* PAF = Paint with Flat Finish, PAT = Paint with Satin Finish, PAS = Paint with Semi-Gloss Finish, PAC = Paint with Gloss Finish
  - \* Paint all surfaces of GYP Soffit color designated, TYP.
  - \* All ductwork, hangers, supports and conduit that can be seen from any angle is to be painted.
  - \* All wood doors and door frames to be painted per door schedule.
  - \* All wood handrails and guardrails to be receive STN-1.
  - \* All metal handrails and guardrails to be PAS-2.
  - \* All electrical and HVAC equipment to be painted out to match wall and/or ceiling.
  - \* Provide GR-1 w/floor tile. Provide GR-2 w/wall & base tile.
  - \* Provide C-1 walk-off mat at each entrance.

- ROOM FINISH NOTES**
- 1 Patch floor to match existing.
  - 2 Patch ceiling to match existing.
  - 3 Patch wall to match existing finishes.
  - 4 Patch wall base and shoe molding to match existing profile and finishes.
  - 5 Provide full height FRP-1 at all walls this room.
  - 6 Paint new wood casing PA-3 to match existing.
  - 7 Paint new wood base PA-4 to match existing.

DOOR SCHEDULE												architecture : Interior design
												FOUNDATION
DOOR #	ROOM #	ROOM NAME	SIZE (W x H)	TYPE	MAT'L	FINISH	GLASS	FRAME MAT'L	FRAME FINISH	HG	RATING	NOTES
<b>FIRST FLOOR</b>												
S-1	S-1	STAIR	3'-0" X 6'-8"	B	STL	PREF	IG	WD	PAS-3	1	-	1
S-2	S-2	STAIR	3'-0" X 6'-8"	A	STL	PREF	-	WD	PAS-3	1	-	1
101	101	SEATING	3'-0" X 6'-8"	B	STL	PREF	IG	WD	PAS-3	1	-	1
110.1	110	VESTIBULE	3'-0" X 6'-8"	B	WD	PAS-3	WG	WD	PAS-3	2	-	2
110.2	110	VESTIBULE	3'-0" X 6'-8"	B	STL	PREF	IG	WD	PAS-3	1	-	1
111	111	KITCHEN	3'-0" X 6'-8"	A	STL	PREF	-	WD	PAS-3	1	-	1
113.1	113	VESTIBULE	3'-0" X 6'-8"	C	WD	PAS-3	WG	WD	PAS-3	2	-	2
113.2	113	VESTIBULE	3'-0" X 6'-8"	C	STL	PREF	IG	WD	PAS-3	1	-	1
<b>SECOND FLOOR</b>												
211	211	EQUIPMENT PLATFORM	3'-0" X 6'-8"	D	WD	PAS-3	-	HM	PAS-3	3	90 MIN	3

- NOTES:**
- 1 Prehung Prefinished Insulated Exterior Steel Door by Mastercraft
  - 2 Paint Grade Interior Door
  - 3 Fire rated mineral core door and frame assembly



**HARDWARE GROUPS**

HG1 BUTTS LEVER DEADBOLT - THUMBTURN CLOSER - SPRING CUSH KICKPLATE THRESHOLD WEATHERSTRIPPING	HG2 BUTTS LEVER CLOSER WALL STOP KICKPLATE	HG3 BUTTS LEVER CLOSER - SPRING CUSH KICKPLATE
---	---	--

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REVISIONS

NO. TYPE PERMIT DRAWING SET

FOUNDATION ARCHITECTS PROJECT NUMBER 15012

DATE 12-3-2018

SHEET TITLE ROOM FINISH, MATERIAL AND DOOR SCHEDULES, HARDWARE GROUPS

**A800**



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CONSULTANT

Integrated  
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Phone: (920) 470-3113

PROJECT TITLE/LOCATION

Pleasant Hill Bar  
Addition and Renovation  
2102 WI-164  
Richfield, Wisconsin 53076



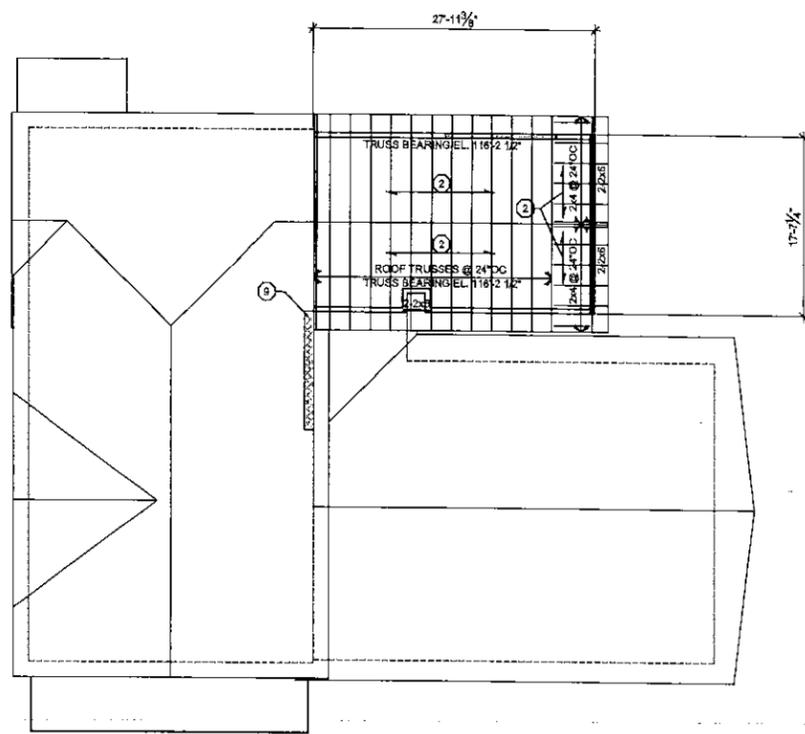
REVISIONS

Table with 2 columns: Description, Date. Includes 'PERMIT DRAWING SET' and 'FOUNDATION ARCHITECTS PROJECT NUMBER 19012'.

DATE: 12-03-2019  
SHEET TITLE: BASEMENT FLOOR PLAN  
FIRST FLOOR PLAN  
SHEET NUMBER: S100



12/04/19  
Sheets: S100, S500 & S505



HIGH ROOF FRAMING PLAN  
1/8"=1'-0"

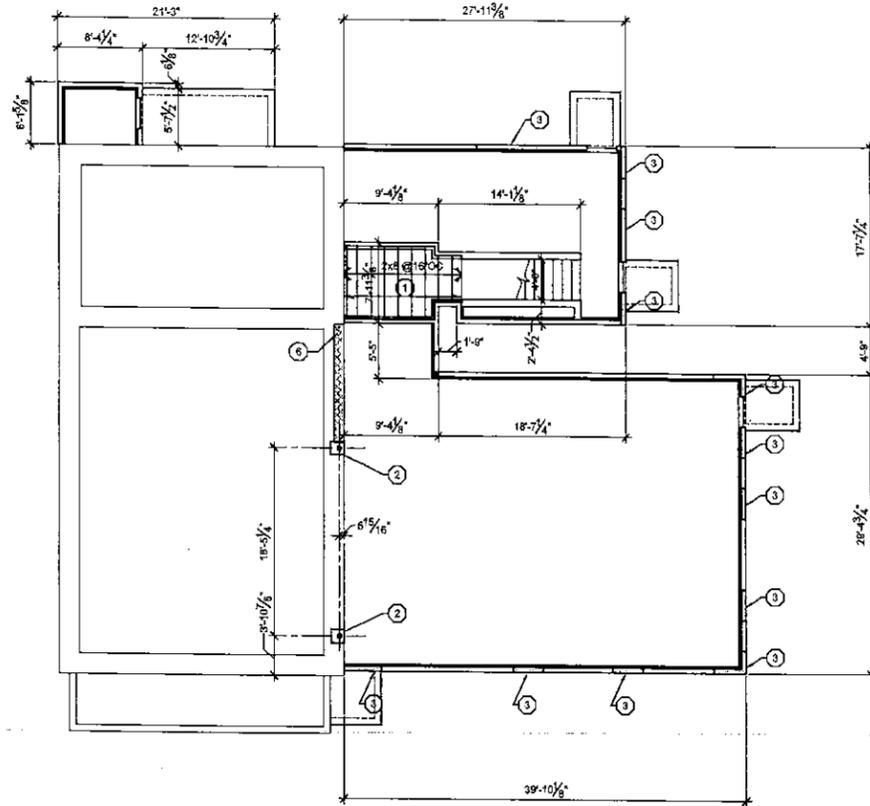
- FRAMING PLAN NOTES: 1. TOP & BOTTOM PLATE OF STUD WALLS SHALL BE THE SAME GRADE AS STUDS UNLESS NOTED OTHERWISE. 2. REVIEW THE FOLLOWING STANDARD DETAILS: - SEE DETAIL 1/8505 FOR ALLOWABLE HOLES IN LVL & PARALLEL BEAMS JOISTS, BEAMS OR HEADERS. - SEE DETAIL 2/8505 FOR ALLOWABLE HOLE SIZES AND LOCATIONS AT DIMENSIONAL WOOD JOISTS. - SEE DETAIL 3/8505 FOR MAXIMUM ALLOWED CUTTING, NOTCHING AND BORED HOLES STUDS DETAIL. - SEE DETAIL 4/8505 FOR DX BLOCKING IN TRUSS SPACE AT CONCENTRATED LOADS AND SHOULDER STUDS. 3. PROVIDE SIMPSON H2.5A HURRICANE TIE (OR EQUAL) AT EACH TRUSS BEARING LOCATION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

- FRAMING KEY NOTES: 1. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE OSB 48/24 PANEL SPAN, APA RATED STRUCTURAL I EXTERIOR MARKED PS1-83 CONTINUOUS OVER 2 OR MORE SUPPORTS. STAGGER PANEL EDGES. GLUE AND FASTEN TO SUPPORT FRAMING W/ 8d (2 1/2") SMOOTH SHANK CEMENT COATED NAILS @ 6" O.C. ALONG PANEL EDGES AND 10" O.C. ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES. PROVIDE 1/8" GAP BETWEEN ALL PANEL EDGES. 2. ROOF SHEATHING SHALL BE 1/2" OSB 48/24 PANEL SPAN, APA RATED STRUCTURAL I EXTERIOR MARKED PS1-83 CONTINUOUS OVER 2 OR MORE SUPPORTS. STAGGER PANEL EDGES. GLUE AND FASTEN TO SUPPORT FRAMING W/ 8d (2 1/2") SMOOTH SHANK CEMENT COATED NAILS @ 6" O.C. ALONG PANEL EDGES AND 10" O.C. ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES. PROVIDE 1/8" GAP BETWEEN ALL PANEL EDGES. 3. SHADED LENGTH OF WALL INDICATES SHEAR WALL LOCATION - SEE SHEAR WALL PLAN MARK, SHEAR WALL SCHEDULE AND 9/8500 TYPICAL SHEAR WALL ELEVATION. 4. HSS4x4x3/16 COLUMN WITH 1/2" CAP PLATE AND 1/2"x10"x0'-10" BASE PLATE WITH 4-3/4"x2" ANCHOR BOLTS. 5. COMBINATION DRIFTING AND SLIDING LOAD TO BE ADDED TO UNIFORM ROOF DESIGN SNOW LOAD IN TRUSS DESIGN. 6. POCKET EXISTING MASONRY WALL FOR BEAM BEARING. PROVIDE 16" SOLID MASONRY BELOW BEAM BEARING. PROVIDE SOLID MASONRY AROUND BEAM. 7. 3-2x6 POST WITH SIMPSON 2-AC POST CAP AND 2-RPBZ POST BASE+4-TITEN SCREWS. 8. PROVIDE 2xSECONDARY FRAMING AS REQUIRED. 9. PROVIDE 2x#5 VERTICAL AT END OF EXISTING WALL TO REMAIN. GROUT EXISTING WALL SOLID FULL HEIGHT.

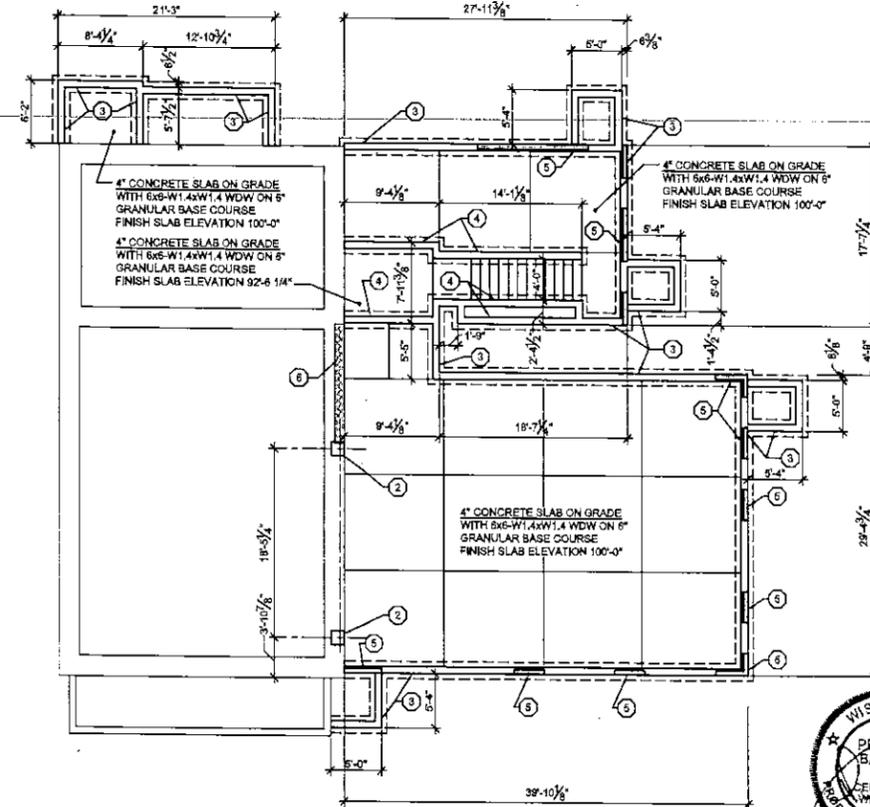
- MODIFICATION TO STRUCTURE FOR PLUMBING, ELECTRICAL AND MECHANICAL INSTALLATION: 1. PREFABRICATED WOOD TRUSSES SHALL NOT BE MODIFIED. DO NOT DRILL INTO OR CUT OR REMOVE ANY PORTION OF THESE STRUCTURAL MEMBERS. ENGINEERING AND REPLACEMENT OR REPAIRS TO ANY PREFABRICATED WOOD TRUSSES MODIFIED OR DAMAGED WILL BE PAID FOR BY THE CONTRACTOR RESPONSIBLE FOR MODIFICATION OR DAMAGE. 2. SEE STRUCTURAL PLANS FOR ALLOWABLE SIZE AND LOCATION OF HOLES IN WOOD HEADERS, BEAMS AND STUDS. ENGINEERING AND REPLACEMENT OR REPAIRS OF ANY MEMBERS THAT EXCEED THE LIMITS IDENTIFIED FOR HOLE SIZE AND PLACEMENT IN THESE MEMBERS WILL BE PAID FOR BY THE CONTRACTOR RESPONSIBLE FOR IMPROPER HOLE SIZE AND OR PLACEMENT.

- FOUNDATION NOTES: 1. TYPICAL WHERE SLAB ON GRADE ABUTS WALLS OR COLUMNS. PROVIDE 1/4" SLAB THICKNESS ISOLATION FILLER MATERIAL STRIP. SET STRIP 1/4" BELOW FINISH SLAB ELEVATION. 2. OVER EXCAVATION PER DETAIL 1/8500 MAY BE REQUIRED TO REMOVE UNSUITABLE SOIL BEARING MATERIAL FOR FOOTINGS OR SLABS. CONTRACTOR SHALL SUBMIT A UNIT PRICE FOR OVER EXCAVATION AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR PLACEMENT OF COMPACTED, OF ENGINEERED FILL, OR LEAN CONCRETE FILL TO PROVIDE A SUITABLE BEARING STRATUM. 3. SLEEVE ALL PIPE PENETRATIONS THROUGH CONCRETE FOUNDATION WALL. SEE PLUMBING DRAWINGS FOR LOCATIONS. 4. TYPICAL DETAILS THAT APPLY TO PLAN INCLUDE: 1/8500 - OVER EXCAVATION DETAIL 2/8500 - CONCRETE WALL FOOTING STEP DETAIL 3/8500 - CONCRETE FOUNDATION WALL OPENING DETAIL 4/8500 - CONCRETE WALL CORNER REINFORCEMENT DETAIL 5/8500 - CONCRETE WALL JOINT DETAIL 6/8500 - CONCRETE SLAB JOINT DETAILS 7/8500 - TYPICAL STAIR DETAIL 8/8500 - TYPICAL WOOD BEARING WALL ELEVATION 9/8500 - TYPICAL SHEAR WALL ELEVATION 5. TOP OF ALL WALLS ELEVATION 100'-0" UNLESS NOTED OTHERWISE. SEE SECTIONS FOR LEDGE ELEVATIONS. 6. TOP OF ALL FOOTINGS AT ELEVATION 96'-0" EXCEPT AT BASEMENT WHERE TOP OF FOOTINGS ARE AT ELEVATION 91'-6 1/4". 7. FIRST FLOOR SOLE PLATE SHALL BE PRESSURE TREATED AND TOP PLATE OF STUD WALLS SHALL BE DOUGLAS FIR NO1/NO2 UNLESS NOTED OTHERWISE.

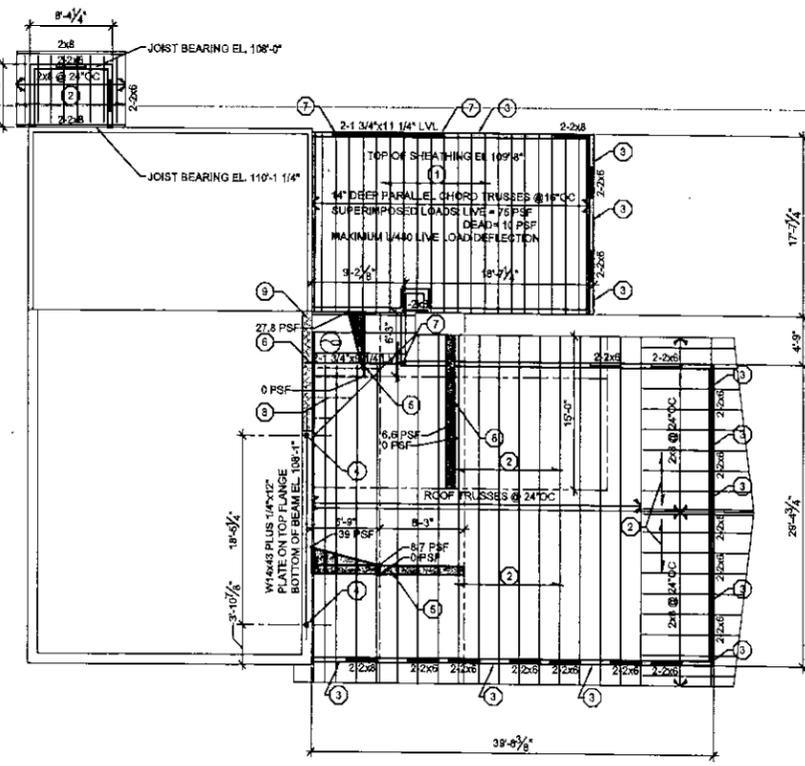
- FOUNDATION KEY NOTES: 1. #4x5'-0" TOP & BOTTOM. 2. REMOVE PORTION OF EXISTING WALL FOR 15"x18" CONCRETE PIER WITH 4-#6 VERTICALS AND @8@12"OC CLOSED TIES. 3. FOUNDATION: 8" CONCRETE WALL WITH 2-#5 TOP AND BOTTOM CONTINUOUS ON 1'-8" WIDE x12" THICK FOOTING WITH #4x2'-0" @18"OC BOTTOM HOOKED DOWELS TO WALL. 4. FOUNDATION: 8" CONCRETE WALL WITH 2-#5 TOP AND BOTTOM CONTINUOUS, #4@12"OC VERTICAL INSIDE FACE, #4@12"OC HORIZONTAL, ON 1'-8" WIDE x12" THICK FOOTING WITH #4x2'-0" @12"OC BOTTOM HOOKED DOWELS TO WALL. 5. SHADED LENGTH OF WALL INDICATES SHEAR WALL LOCATION - SEE SHEAR WALL PLAN MARK, SHEAR WALL SCHEDULE AND 9/8500 TYPICAL SHEAR WALL ELEVATION. 6. PROVIDE 2-#5 VERTICAL AT END OF EXISTING WALL TO REMAIN. GROUT EXISTING WALL SOLID FULL HEIGHT.



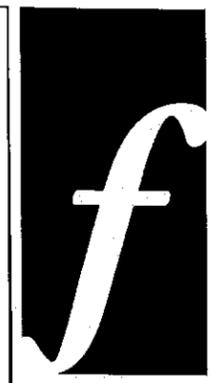
FIRST FLOOR FRAMING PLAN  
FIN FLOOR=100'-0" (1021.67')  
1/8"=1'-0"



FOUNDATION PLAN  
BASEMENT FLOOR=92'-6 1/4" 1014.19'  
1/8"=1'-0"



SECOND FLOOR/LOW ROOF FRAMING PLAN  
1/8"=1'-0"



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**Pleasant Hill Bar Addition and Renovation**  
 2102 WI-164  
 Richfield, Wisconsin 53076

DATE: 12-05-2019  
 SHEET TITLE: FOUNDATION SECTIONS  
 SHEET NUMBER: **S500**

**DESIGN LOADS**

BUILDING DESIGN CATEGORY/SEISMIC USE GROUP: II  
 IMPORTANCE FACTORS:  
 SEISMIC I.E. 1.00  
 SNOW IS 1.00

FOUNDATION WALLS:  
 AT-REST EARTH PRESSURE 85 PSF/FT

FLOOR LOAD DESIGN DATA:  
 KITCHEN 100 PSF  
 EQUIPMENT ROOM 80 PSF  
 WOOD TRUSS FLOOR DEAD LOAD 21 PSF

ROOF LOAD DESIGN DATA:  
 GROUND SNOW LOAD (Pg) 35 PSF  
 THERMAL FACTOR (Ct) 4.10  
 EXPOSURE FACTOR (Ce) 1.00  
 FLAT ROOF SNOW LOAD (P<sub>f</sub>) 23.1 PSF  
 ROOF DEAD LOAD 20 PSF

WIND LOAD DATA:  
 ULTIMATE WIND SPEED 115 MPH  
 NORMAL WIND SPEED 99.1 MPH  
 WIND EXPOSURE CATEGORY B  
 ADJUSTED COMPONENTS AND CLADDING PRESSURES IN POUNDS PER SQUARE FOOT:

AREA (°)	1	2	3	4	5	6
10	-24.9	-29.1	-29.1	-27.0	-33.3	
50	-21.9	-26.1	-26.1			
100	-20.8	-24.9	-24.9	-23.2	-26.8	

ALL ROOF POSITIVE ZONES = 10 PSF  
 WALL POSITIVE ZONES (4 & 5):  
 10 24.9 24.9  
 100 21.1 21.1

\* IN SQUARE FEET

**DESIGN STRESSES**

SOIL PARAMETERS  
 ALLOWABLE SOIL BEARING PRESSURE  
 SPREAD AND STRIP FOOTINGS: 2,000 PSF

CAST IN PLACE CONCRETE (28 DAY COMPRESSIVE STRENGTH)  
 FOOTINGS: F<sub>c</sub> = 3,000 PSI  
 WALLS AND PIERS: F<sub>c</sub> = 4,000 PSI  
 INTERIOR SLAB ON GRADE: F<sub>c</sub> = 3,000 PSI  
 EXTERIOR SLAB ON GRADE: F<sub>c</sub> = 4,500 PSI  
 CONCRETE REINFORCEMENT: F<sub>y</sub> = 40,000 PSI  
 FIELD BENT BARS: F<sub>y</sub> = 60,000 PSI

STRUCTURAL STEEL  
 TUBE SECTIONS-ASTM A500 GRADE B: F<sub>y</sub> = 45,000 PSI  
 ROLLED WIDE FLANGE BEAMS - ASTM A992, GRADE 50: F<sub>y</sub> = 50,000 PSI  
 ANGLE, PLATES AND OTHER ROLLED SECTIONS: F<sub>y</sub> = 36,000 PSI

STRUCTURAL FASTENERS  
 BOLTS 1/2" TO 1" - ASTM A325: F<sub>u</sub> = 120,000 PSI  
 BOLTS OVER 1" TO 1 1/2" - ASTM A325: F<sub>u</sub> = 106,000 PSI  
 NUTS - ASTM A563: F<sub>u</sub> = 106,000 PSI  
 WASHERS - ASTM F436: F<sub>u</sub> = 106,000 PSI  
 SHEAR-STUD CONNECTORS - ASTM A108 TYPE B: F<sub>u</sub> = 85,000 PSI  
 ANCHOR BOLTS - ASTM A193 GRADE 36: F<sub>y</sub> = 36,000 PSI  
 THREADED RODS - ASTM A36: F<sub>y</sub> = 36,000 PSI  
 WELDING ELECTRODES: E70  
 MASONRY (LOAD BEARING CONCRETE MASONRY UNIT WALLS): F<sub>m</sub> = 2,400 PSI  
 MASONRY GROUT: F<sub>c</sub> = 3,500 PSI  
 CONCRETE MASONRY UNIT MORTAR: TYPE S  
 BELOW GRADE: TYPE M

WOOD INTERIOR USE  
 2x4 SPRUCE-PINE-FIR STUD GRADE: F<sub>b</sub> = 875 PSI, F<sub>v</sub> = 135 PSI, F<sub>c</sub> = 725 PSI, F<sub>c</sub> = 425 PSI, E = 1,200,000 PSI  
 2x6 AND LARGER SPRUCE-PINE-FIR No. 1/No. 2: F<sub>b</sub> = 875 PSI, F<sub>v</sub> = 135 PSI, F<sub>c</sub> = 11,500 PSI, F<sub>c</sub> = 425 PSI, E = 1,400,000 PSI  
 BEAM AND STRINGER TIMBERS (6x6 AND LARGER) SPRUCE-PINE-FIR No. 1: F<sub>b</sub> = 900 PSI, F<sub>v</sub> = 125 PSI, F<sub>c</sub> = 525 PSI, F<sub>c</sub> = 425 PSI, E = 1,300,000 PSI  
 POST TIMBERS (6x6 AND LARGER) SPRUCE-PINE-FIR No. 1: F<sub>b</sub> = 850 PSI, F<sub>v</sub> = 125 PSI, F<sub>c</sub> = 700 PSI, F<sub>c</sub> = 425 PSI, E = 1,300,000 PSI  
 WOOD EXTERIOR USE, PRESSURE TREATED:  
 SOUTHERN PINE No. 1: F<sub>b</sub> = 1,850 PSI, F<sub>v</sub> = 175 PSI, F<sub>c</sub> = 1,850 PSI, F<sub>c</sub> = 685 PSI, E = 1,700,000 PSI  
 TIMBERS (6x6 AND LARGER) SOUTHERN PINE No. 2: F<sub>b</sub> = 850 PSI, F<sub>v</sub> = 175 PSI, F<sub>c</sub> = 525 PSI, F<sub>c</sub> = 375 PSI, E = 1,200,000 PSI  
 LAMINATED VENEER LUMBER (LVL): F<sub>b</sub> = 2,900 PSI, F<sub>v</sub> = 285 PSI, E = 2,000,000 PSI

**SOILS NOTE:**

REMOVE EXISTING SURFICAL TOP SOIL AND VEGETATION FROM WITHIN THE BUILDING AREA AND A MINIMUM OF TEN FEET BEYOND. PROCEED TO EXCAVATE MATERIAL TO THE PROPOSED SLAB-ON-GRADE SUB GRADE WHERE EXPOSED MATERIAL SHOULD BE PROOF-ROLLED WITH A HEAVY RUBBER Tired VEHICLE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER. SOILS WHICH HEAVE, PUMP, OR DO NOT READILY COMPACT SHOULD BE EXCAVATED AND REPLACED WITH ENGINEERED FILL.

SUBGRADE PREPARATION FOR FOOTINGS SHALL CONSIST OF EXCAVATION TO 4000 PSF ALLOWABLE BEARING CAPACITY SOILS AT OR NEAR DESIGN FOOTING ELEVATIONS, WHERE UNSUITABLE SOIL IS ENCOUNTERED AT A NOMINAL FOOTING DEPTH, IT SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL (SEE OVER-EXCAVATION DETAIL). FOOTING BEARING CONDITIONS AND OVER-EXCAVATION PROCEDURES MUST BE CHECKED IN THE FIELD BY A QUALIFIED GEOTECHNICAL ENGINEER.

SEE WALL SECTIONS REGARDING BACKFILL REQUIREMENTS AGAINST FOUNDATION WALLS AND WALL BRACING REQUIREMENTS. SLAB-ON-GRADE SHALL BE SUPPORTED ON A 6" (MINIMUM) LAYER OF CLEAN, FREELY DRAINING GRANULAR MATERIAL COMPACTED TO 95% MAXIMUM DRY DENSITY.

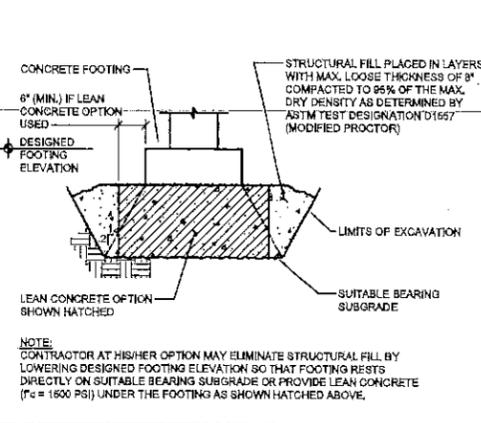
GRANULAR STRUCTURAL FILL SHOULD BE PLACED IN 6" (MAXIMUM) LAYERS COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D-1557 (MODIFIED PROCTOR) ALTERNATIVELY FILL MAY CONSIST OF APPROVED COHESIVE SOILS PLACED IN 6" (MAXIMUM) LAYERS COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY PER ASTM D-5957 STANDARD PROCTOR. MOISTURE CONDITION FILL MATERIALS AS REQUIRED TO OBTAIN PROPER COMPACTION. COHESIVE SOILS OR GRANULAR SOILS WITH A SIGNIFICANT PERCENTAGE FINES SHALL BE CONDITIONED SO THAT THE MOISTURE CONTENT AT COMPACTION SHALL BE WITHIN 3% OF OPTIMUM MOISTURE CONTENT.

**REINFORCEMENT NOTE:**

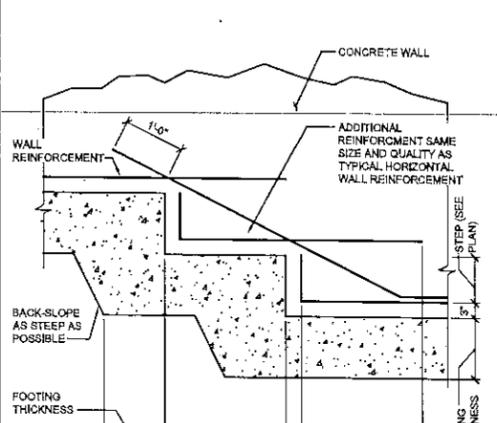
- REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH ACI 318-LATEST EDITION.
- ALL LAPS SHALL BE CLASS "B" PER ACI 318-LATEST EDITION UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 14" DEEP.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
- CORNER BARS WITH CLASS "B" PER 318-LATEST EDITION LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS PER ACI 318-LATEST EDITION FIGURE II, EXCLUDING UPPER RIGHT DETAIL.
- HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OR AN OPENING TO ANOTHER SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST TO THE NEAREST BUILDING GRID LINE OF WALL.
- WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP  $f_y$  PER ACI 318-LATEST EDITION.

**REINFORCING STEEL CLEAR COVER REQUIREMENTS**

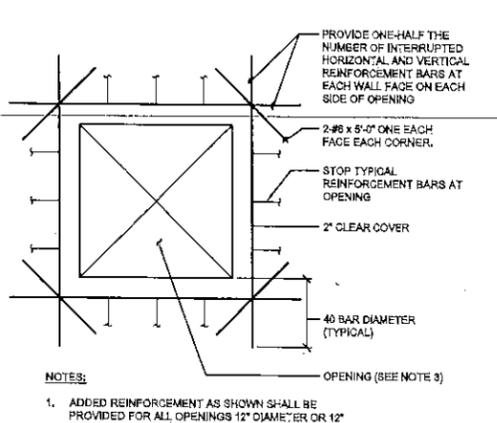
CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	1 1/2"
UP THRU #5 BARS #6 BARS THRU #8 BARS	2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	1"
SLABS, WALLS UP THRU #11 BARS #14 AND #18 BARS	1 1/2"



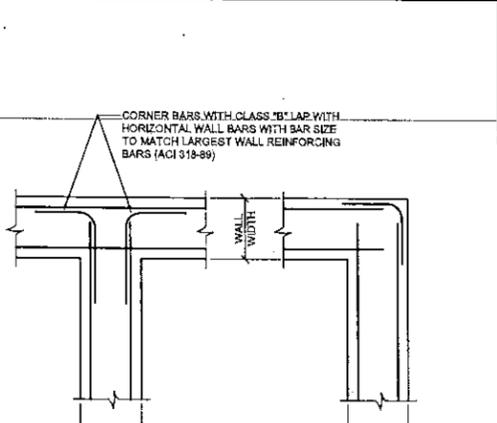
**1 OVER-EXCAVATION DETAIL**  
 SCALE: NTS



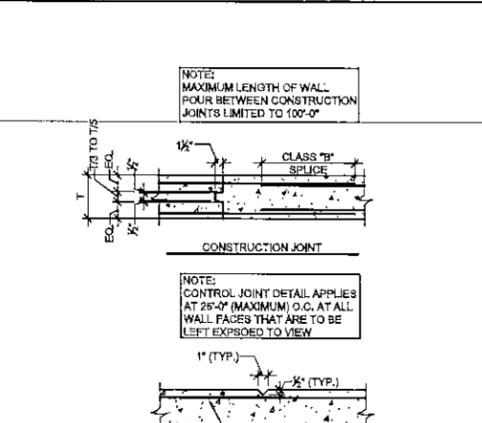
**2 WALL FOOTING STEP DETAIL**  
 SCALE: NTS



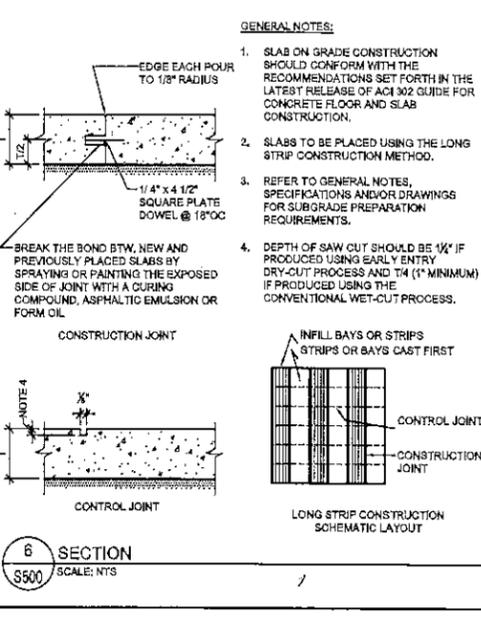
**3 ADDED REINFORCEMENT AT WALL OPENINGS**  
 SCALE: NTS



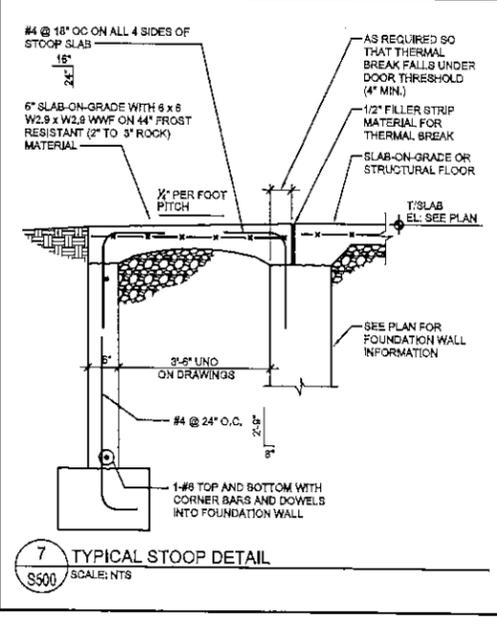
**4 TYPICAL CORNER REINFORCEMENT**  
 SCALE: NTS



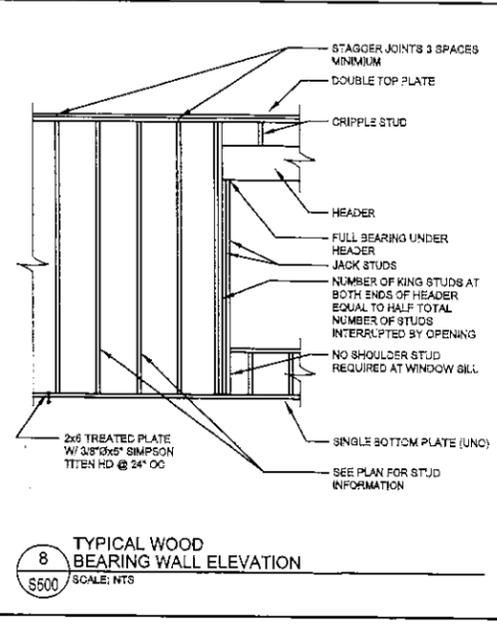
**5 TYPICAL CONCRETE WALL JOINTS**  
 SCALE: NTS



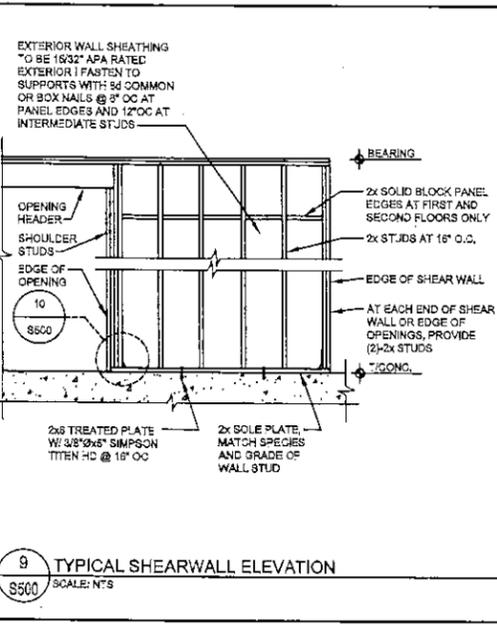
**6 SECTION**  
 SCALE: NTS



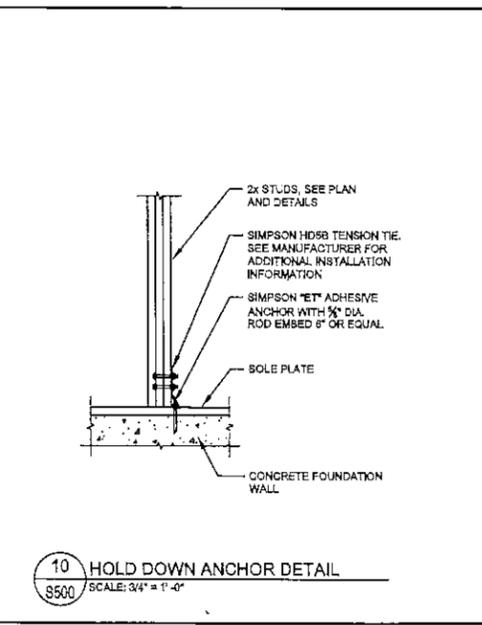
**7 TYPICAL STOOP DETAIL**  
 SCALE: NTS



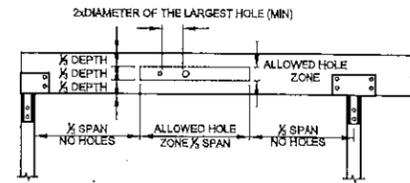
**8 TYPICAL WOOD BEARING WALL ELEVATION**  
 SCALE: NTS



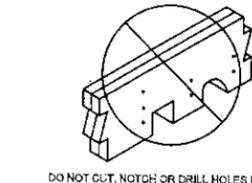
**9 TYPICAL SHEARWALL ELEVATION**  
 SCALE: NTS



**10 HOLD DOWN ANCHOR DETAIL**  
 SCALE: 3/4" = 1'-0"



**NOTES:**  
 THE ALLOWED HOLE ZONE IS SUITABLE ONLY FOR UNIFORMLY LOADED BEAMS USING MAXIMUM LOADS FOR ANY TABLE LISTED IN THIS BROCHURE. FOR OTHER LOAD CONDITIONS OR HOLE CONFIGURATIONS, PLEASE CONTACT YOUR TRUSS JOIST MACMILLAN REPRESENTATIVE.  
 RECTANGULAR HOLES ARE NOT ALLOWED.  
 HOLES IN CANTILEVERS REQUIRE ADDITIONAL ANALYSIS.  
 IF LARGER HOLES ARE REQUIRED CONTACT STRUCTURAL ENGINEER FOR EVALUATION.

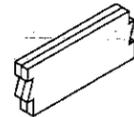


BEAM DEPTH	MAXIMUM ROUND HOLE SIZE
5 1/2"	1 1/4"
7 1/2" TO 18"	2"

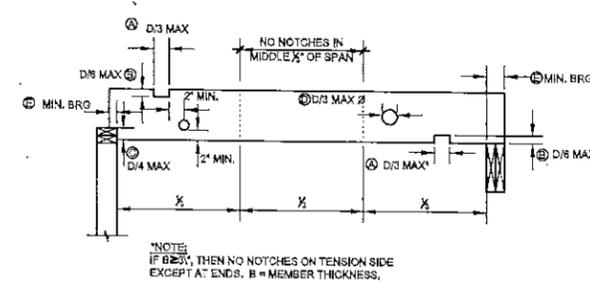
**1 ALLOWABLE HOLES IN LVL BEAMS**  
 SCALE: NTS

- 1 1/2" WIDTH PIECES:**
- MINIMUM OF 2 ROWS 12d (3 1/4") COMMON NAILS AT 12" O.C.
  - MINIMUM OF 3 ROWS 12d (3 1/4") COMMON NAILS AT 12" O.C. FOR 14", 16", 18", AND 20" BEAMS.
  - NAILED CONNECTIONS REQUIRE AN ADDITIONAL ROW OF NAILS WHEN NAIL SIZE IS SMALLER THAN SPECIFIED ABOVE (MINIMUM 6.125"x3").
  - LOAD MUST BE APPLIED EVENLY ACROSS ENTIRE BEAM WIDTH. OTHERWISE, USE CONNECTIONS FOR SIDE-LOADED BEAMS.
- 3/4" WIDTH PIECES:**
- MINIMUM OF 2 ROWS 1/2" BOLTS AT 24" O.C., STAGGERED.
- FOR ALL OTHER TWO PIECE, CONTINUOUS HEADERS, PROVIDE 16d COMMON NAILS @ 18" O.C. ALONG EACH EDGE, UNLESS NOTED OTHERWISE.

**NOTE:**  
 MULTIPLE PIECES OF MICROLAM LVL OR TIMBERSTRAND LVL CAN BE NAILED OR BOLTED TOGETHER TO FORM A HEADER OR BEAM OF THE REQUIRED SIZE, UP TO A MAXIMUM WIDTH OF 7".



**MULTIPLE LVL FASTENING**

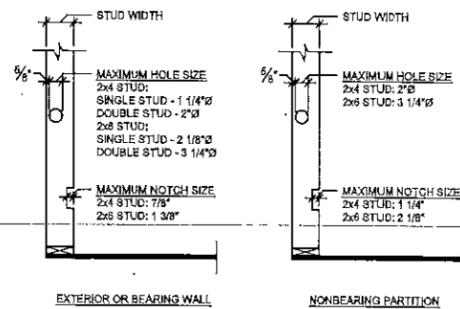


**NOTE:**  
 IF BEAM, THEN NO NOTCHES ON TENSION SIDE EXCEPT AT ENDS. B = MEMBER THICKNESS.

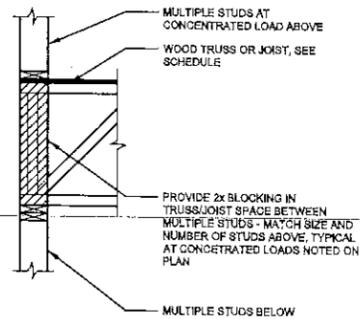
JOIST SIZE	MAXIMUM HOLE DEPTH (1)				
2x6	1-3/4"	3/4"	1-3/4"	1-3/4"	1-3/4"
2x8	2-3/8"	1-3/8"	1-3/8"	2-3/8"	1-3/8"
2x10	1-3/4"	1-1/2"	2-3/8"	3-3/8"	1-1/2"
2x12	3-3/4"	1-3/4"	2-3/8"	3-3/4"	1-3/4"

**NOTE:**  
 1. MINIMUM BEARING: 1-1/2" ON WOOD OR STEEL; 3" BEARING ON MASONRY.

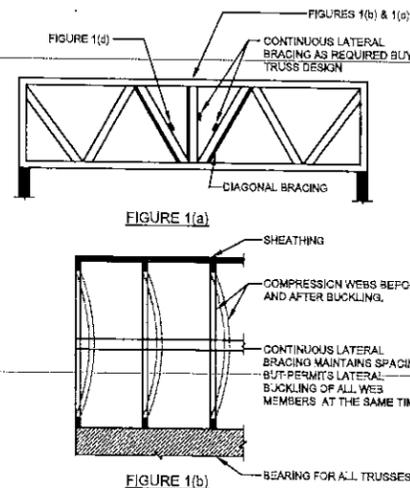
**2 SAWN LUMBER HOLES AND NOTCH DETAIL**  
 SCALE: NONE



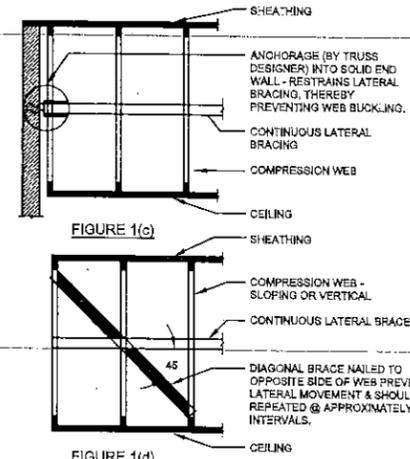
**3 MAXIMUM ALLOWED CUTTING, NOTCHING AND BORED HOLES STUDS DETAIL**  
 SCALE: NTS



**4 BLOCKING AT CONCENTRATED LOADS AND SHOULDER STUDS**  
 SCALE: NTS



**5 STANDARD TRUSS BRACING DETAIL**  
 SCALE: NONE



**ROOF TRUSS NOTES**

- WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLLOWING INFO.
- INFORMATION WHICH THE RESPONSIBLE BUILDING DESIGN PROFESSIONAL WILL CHECK FOR COMPLIANCE WITH CONTRACT DOCUMENTS
    - ERECTOR PLAN: SHOWING DIMENSIONED LOCATIONS AND TRUSS IDENTIFICATION
    - BEARING DETAILS: SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE TO DESIGN CALCULATIONS
    - DESIGN LOADS: ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN OR TRUSS ELEVATIONS INDICATING CONFORMANCE TO TRUSS CALCULATIONS
    - ALL PERMANENT BRACING: SHOW TOP CHORD, BOTTOM CHORD, AND WEB MEMBER BRACING ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF THIS BRACING SHALL ALSO BE INDICATED.
    - TRUSS DIMENSIONS: SHOW DEPTH, SPAN BEARING, HEIGHT, AND SLOPES AT ALL CRITICAL POINTS.
  - INFORMATION THAT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED FOR INFORMATION WITH THE SHOP DRAWING SUBMITTAL.
    - MEMBER DESIGN: INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES, AND MEMBER BRACING REQUIRED BY TRUSS DESIGN.
    - INTERIOR CONNECTION: DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS, CONNECTOR PLATES AND PLATE CAPACITIES.
    - ERECTOR PLAN: SHOW SPACING AND LAYOUT OF ANY TEMPORARY BRACING REQUIRED FOR ERECTION.
    - STRUCTURAL DESIGN OF TRUSSES: SUBMIT COMPLETE TRUSS CALCULATIONS AND OBTAIN ALL APPROVALS NECESSARY FOR CONFORMANCE TO BUILDING CODE.
    - CONTRACTOR: FURNISH INSTALLER WITH ALL DATA NECESSARY FOR PROPER INSTALLATION.

**ROOF TRUSS BRACING NOTES**

- ALL BRACING SHOWN OR DESCRIBED SHALL BE A MINIMUM 2x4 WITH (2) - 16d IN EVERY TRUSS IT CROSSES
- ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING
- ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE.
- ALL HORIZONTAL BRACING SHALL BE STIFFENED AT 20'-0" O.C. WITH EITHER:
  - DIAGONAL BRACING EXTENDED TO A SHEAR WALL PARALLEL TO THE ORIGINAL BRACING. SEE BRACING DETAILS.
  - A 1/2" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.
- ALL TRUSS BOTTOM CHORDS SHALL BE BRACED AT 6'-0" O.C. UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEATHING APPLIED TO BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT.

**FRAMING NOTES**

- ALL CONNECTIONS AS A MINIMUM SHALL CONFORM TO FASTENING SCHEDULE - TABLE 2304.3.1 PER IBC 2015
- ALL PILES OF MULTIPLE HEADER AND WOOD STUD POSTS SHALL BE FULLY LAMINATED TOGETHER WITH NAIL OR BOLT PATTERNS AS SPECIFIED BY NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
- HANGERS FOR ALL TRUSS TO TRUSS AND TRUSS TO FRAMING MEMBERS BY TRUSS MANUFACTURER.
- STUDS SHALL BE FULL HEIGHT WITHOUT SPLICES.

**FRAMING NOTES**

- PROVIDE CROSS BRIDGING/BLOCKING BETWEEN ROOF TRUSSES PER NATIONAL DESIGN SPECIFICATIONS 4.4.1.
- EXTERIOR WALL SHEATHING TO BE 1/2" APA RATED EXTERIOR I FASTEN TO SUPPORTS WITH 8d COMMON OR BOX NAILS @ 8" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE STUDS. 5/8" GYPSUM AT INTERIOR FACE FASTENED AS INDICATED IN SPECIFICATIONS EXCEPT AS NOTED. SEE ARCHITECTURAL PLANS.
- ALL CONNECTIONS AS A MINIMUM SHALL CONFORM TO FASTENING SCHEDULE - TABLE 2304.3.1 PER CURRENT IBC
- ALL PILES OF MULTIPLE HEADER AND WOOD STUD POSTS SHALL BE FULLY LAMINATED TOGETHER WITH NAIL OR BOLT PATTERNS AS SPECIFIED BY NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
- HANGERS FOR ALL TRUSS TO TRUSS AND TRUSS TO FRAMING MEMBERS BY TRUSS MANUFACTURER.
- STUDS SHALL BE FULL HEIGHT WITHOUT SPLICES.



**foundation architects LLC**  
 2625 S. Greeley Street, Ste 203  
 Milwaukee, WI 53207  
 info@foundationarchitects.com  
 Phone (414) 403-3433  
 www.foundationarchitects.com

**Integrated Structural Engineering LLC**  
 7700 Hill 'N Dale Court,  
 Cedarburg, Wisconsin 53012  
 Phone: (312) 470-3119

**Pleasant Hill Bar Addition and Renovation**  
 2102 WI-164  
 Richfield, Wisconsin 53076

REVISIONS  
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**S505**



# VILLAGE OF RICHFIELD

## ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM

MEETING DATE: January 15, 2020

SUBJECT: 70.133 – Permissible and Prohibited Commercial/Industrial Building Materials  
DATE SUBMITTED: January 10, 2020  
SUBMITTED BY: Jim Healy, Village Administrator

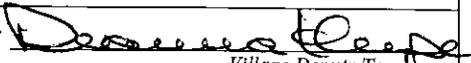
POLICY QUESTION: NONE, DISCUSSION ONLY.

ISSUE SUMMARY:

At our last meeting in August, the Village Board and members of the Architectural Review Board met to discuss the Section of our Village Code which pertains to materials that are both permissible and permitted. This discussion was meant to be instructive to Village Staff and the developer we were working with at the time. After the conclusion of the discussion, it was determined that the flexibility desired already exists in the Village Code and that as a Staff if we could compile a list of materials or product examples to be used that it would be helpful in aiding in future economic development.

I have attached the materials provided by Mr. Nick Keys from Dickman Realty, the email correspondence which took place following our meeting, and Village Staff is open to additional suggestions how we can further support development in our community.

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY:   
Village Deputy Treasurer

Forward to Plan Commission: No  
Additional Approvals Needed: No

ATTACHMENTS:

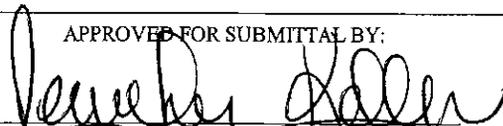
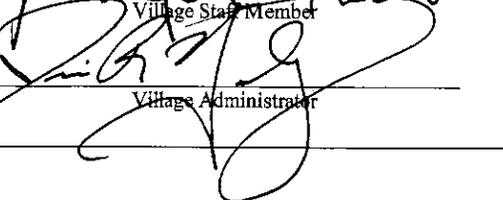
- 1. Email correspondence from Mr. Nick Keys from Dickman Realty (September 2019)

STAFF RECOMMENDATION:

N/A

APPROVED FOR SUBMITTAL BY:

VILLAGE CLERK USE ONLY  
BOARD ACTION TAKEN

  
Village Staff Member  
  
Village Administrator

Resolution No. \_\_\_\_\_  
Ordinance No. \_\_\_\_\_  
Approved \_\_\_\_\_  
Other \_\_\_\_\_

Continued To: \_\_\_\_\_  
Referred To: \_\_\_\_\_  
Denied \_\_\_\_\_  
File No. \_\_\_\_\_

## Jim Healy

---

**From:** Jim Healy  
**Sent:** Friday, January 10, 2020 10:17 AM  
**To:** Jim Healy  
**Subject:** FW: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

**From:** Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>  
**Sent:** Tuesday, October 01, 2019 9:53 AM  
**To:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Subject:** Re: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

That's fine with me. I didn't know who had approved it. I will relay to Mark Sellers.

Thanks,

Nick Keys  
The Dickman Company, Inc  
(715) 379-1662

Sent from iPhone

On Oct 1, 2019, at 8:46 AM, Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)> wrote:

Nick,

He hasn't, but I know he travels with his job quite a bit. However, if the Chairman of the ARB and the Chairman of the Plan Commission have concurrence, I would think that's sufficient. But if you want me to reach out to him again, I certainly will.

Sincerely,  
JRH

**From:** Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>  
**Sent:** Tuesday, October 01, 2019 8:40 AM  
**To:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Subject:** RE: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

Jim,

Has the 3<sup>rd</sup> architect confirmed agreement?

Thanks,

Nick Keys  
*Principal*

The Dickman Company, Inc.  
Corfac International  
626 East Wisconsin Avenue  
Suite 1020  
Milwaukee, WI 53202  
**Cell: 715-379-1662**  
Direct: 414-278-6881  
Main: 414-271-6100  
Fax: 414-271-5125  
[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)  
<https://www.linkedin.com/in/nick-keys/>

**From:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Sent:** Thursday, September 26, 2019 9:23 AM  
**To:** Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>  
**Subject:** RE: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

Nick,

I've heard from two of the three architects that they agree with the materials, but not necessarily with the price per square foot, which really isn't our issue to consider.

Be well,

Jim Healy  
*Village Administrator*  
*Planning and Zoning Administrator*  
(262)-628-2260  
*Village of Richfield*  
*4128 Hubertus Road*  
*Hubertus, WI 53033*  
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**Follow us on Twitter, @RichfieldWis**

**“Far and away the best prize that life has to offer is the chance to work hard at work worth doing.” – President Theodore Roosevelt**

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**From:** Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>  
**Sent:** Thursday, September 26, 2019 8:42 AM  
**To:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Subject:** RE: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

Jim,

Any word back on this?

Thanks,

Nick Keys  
*Principal*

The Dickman Company, Inc.  
Corfac International  
626 East Wisconsin Avenue  
Suite 1020  
Milwaukee, WI 53202  
**Cell: 715-379-1662**  
Direct: 414-278-6881  
Main: 414-271-6100  
Fax: 414-271-5125  
[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)  
<https://www.linkedin.com/in/nick-keys/>

**From:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Sent:** Friday, September 20, 2019 8:41 AM  
**Subject:** FW: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park  
**Importance:** High

Mr. Chairman and ARB Members,

The Village has been working with the owner of Endeavor Business Park to come up with a visual list of acceptable materials pursuant to 70.133. Their consultant has put together the attached exhibits. Would you mind please reviewing these materials and offering your opinion? I've included a screenshot of the Code's list of appropriate façade materials for your convenience.

- |  |         |
|--|---------|
| • Composite metal panel, concealed fasteners | \$40/sf |
| • Architectural precast insulated panels     | \$35/sf |
| • Facing brick                               | \$32/sf |
| • Nichiha concealed fastener panels          | \$31/sf |
| • Non-composite metal panel                  | \$28/sf |
| • Burnished or split-faced block             | \$24/sf |
| • Large format cement board panels           | \$22/sf |
| • EIFS                                       | \$18/sf |
| • Hardie-plank lap siding                    | \$10/sf |

<image001.png>  
Be well,

Jim Healy  
Village Administrator  
Planning and Zoning Administrator  
(262)-628-2260  
Village of Richfield  
4128 Hubertus Road  
Hubertus, WI 53033  
LIKE us on Facebook!  
Follow us on Twitter, @RichfieldWis

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**From:** Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>  
**Sent:** Friday, September 20, 2019 8:29 AM  
**To:** Jim Healy <[administrator@richfieldwi.gov](mailto:administrator@richfieldwi.gov)>  
**Subject:** FW: RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

Jim,

Please see attached and below. Please confirm these examples are permitted building materials.

Thanks,

Nick Keys  
Principal

The Dickman Company, Inc.  
Corfac International  
626 East Wisconsin Avenue  
Suite 1020  
Milwaukee, WI 53202  
**Cell: 715-379-1662**  
Direct: 414-278-6881  
Main: 414-271-6100  
Fax: 414-271-5125  
[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)  
<https://www.linkedin.com/in/nick-keys/>

**From:** Shaun Giffin <[sgiffin@peridotcm.com](mailto:sgiffin@peridotcm.com)>

**Sent:** Thursday, September 19, 2019 8:34 AM

**To:** [markgsellers@gmail.com](mailto:markgsellers@gmail.com); Nick Keys <[nick@dickmanrealestate.com](mailto:nick@dickmanrealestate.com)>; [kathy.patterson@alligatorcompanies.com](mailto:kathy.patterson@alligatorcompanies.com); [shelly.manley@alligatorcompanies.com](mailto:shelly.manley@alligatorcompanies.com); Saul Sellers <[saul.sellers@alligatorcompanies.com](mailto:saul.sellers@alligatorcompanies.com)>; [kim.speckin@alligatorcompanies.com](mailto:kim.speckin@alligatorcompanies.com)

**Cc:** John Foss <[jfoss@peridotcm.com](mailto:jfoss@peridotcm.com)>; [dklein@kleindevelopmentinc.com](mailto:dklein@kleindevelopmentinc.com)

**Subject:** RICHFIELD EXTERIOR MATERIALS - Economic Development Discussion - Endeavor Business Park

Good morning all,

I reviewed the ordinance with regards to acceptable exterior materials. The following are the main options listed in order of installed cost:

- |  |         |
|--|---------|
| • Composite metal panel, concealed fasteners | \$40/sf |
| • Architectural precast insulated panels     | \$35/sf |
| • Facing brick                               | \$32/sf |
| • Nichiha concealed fastener panels          | \$31/sf |
| • Non-composite metal panel                  | \$28/sf |
| • Burnished or split-faced block             | \$24/sf |
| • Large format cement board panels           | \$22/sf |
| • EIFS                                       | \$18/sf |
| • Hardie-plank lap siding                    | \$10/sf |

I have attached typical pictures of each product.

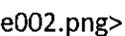
Please feel free to contact me if you have any questions.

Thanks,

Shaun

**Shaun Giffin**

Director Of Pre-Construction Services

<002.png>

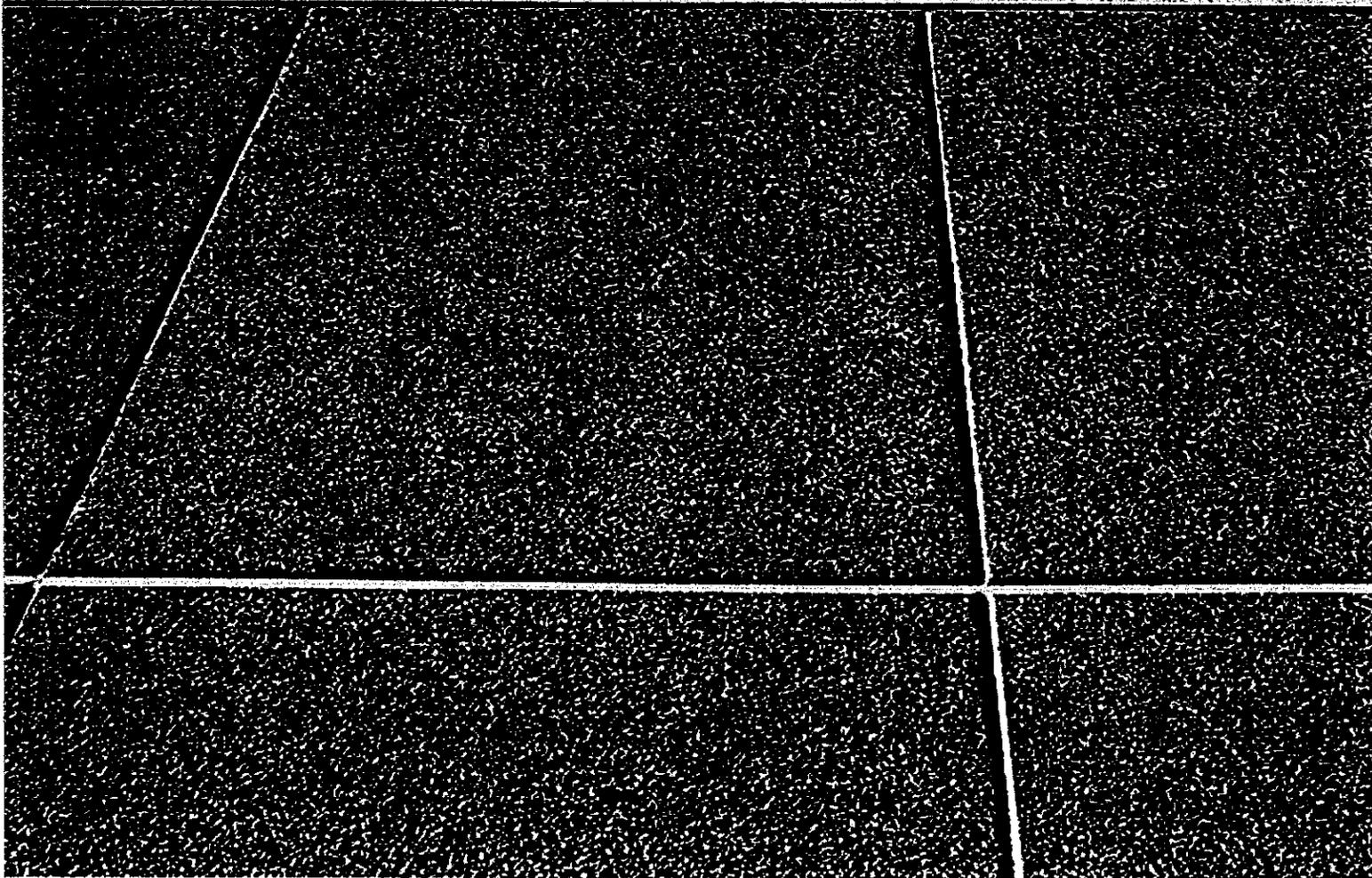
4425 W. Mitchell St. • Milwaukee, WI 53214

(O) 414-877-1772 (F) 414.291.5851 (C) 262.424.0807

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PRECAST

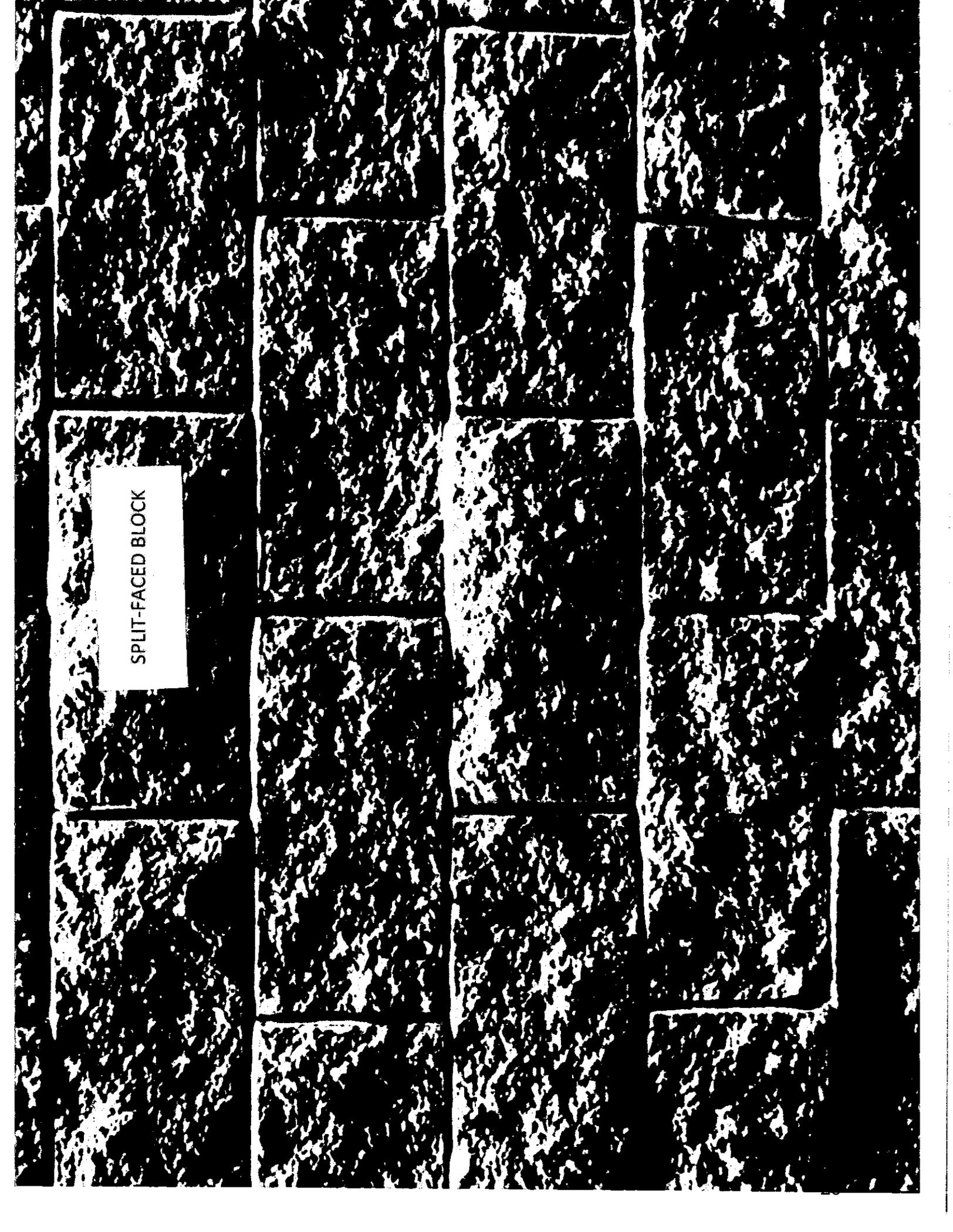


EFIS

02/18/2006



LARGE FORMAT CEMENT BOARD



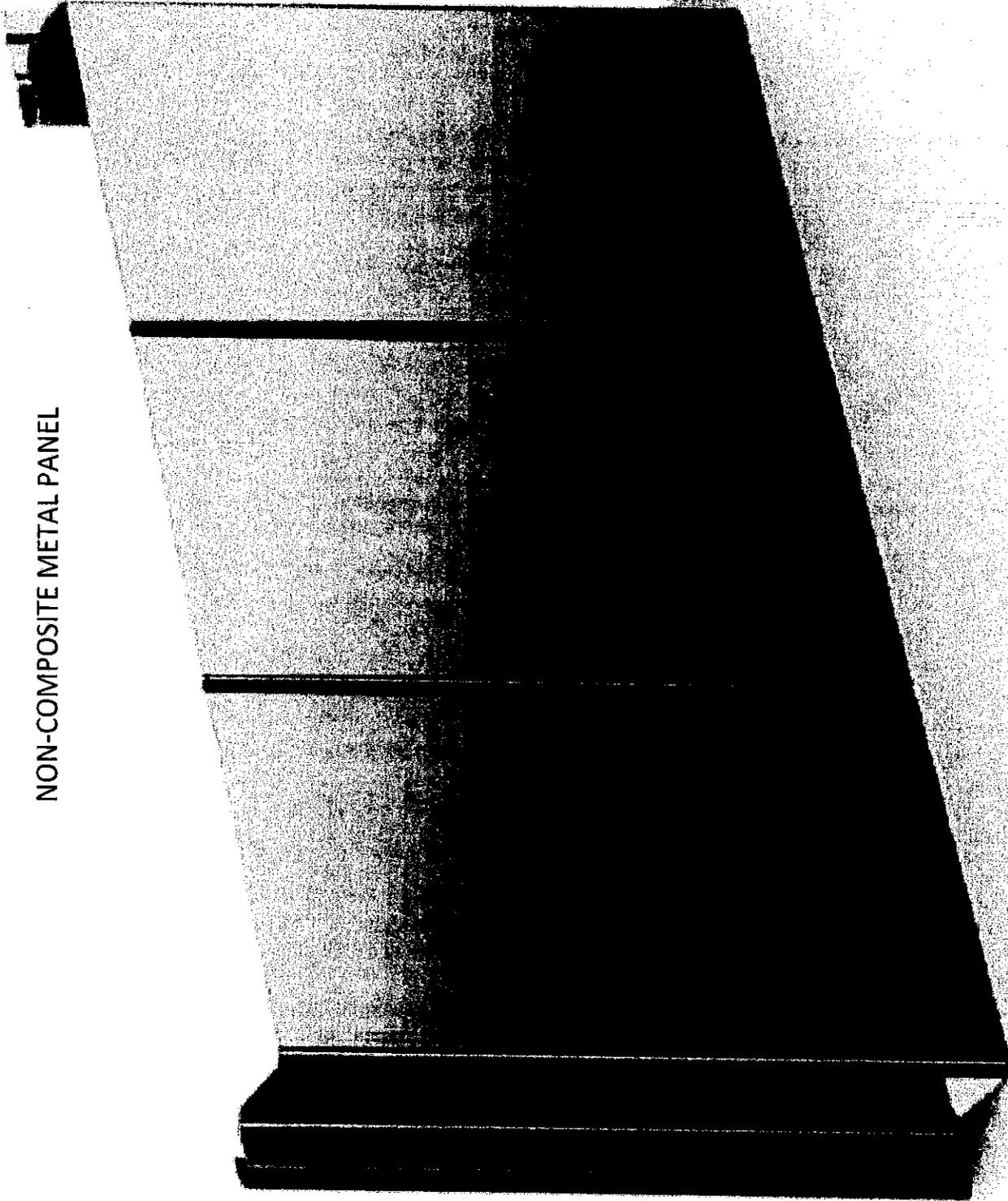
SPLIT-FACED BLOCK

DEPOSITUM

BURNISHED BLOCK

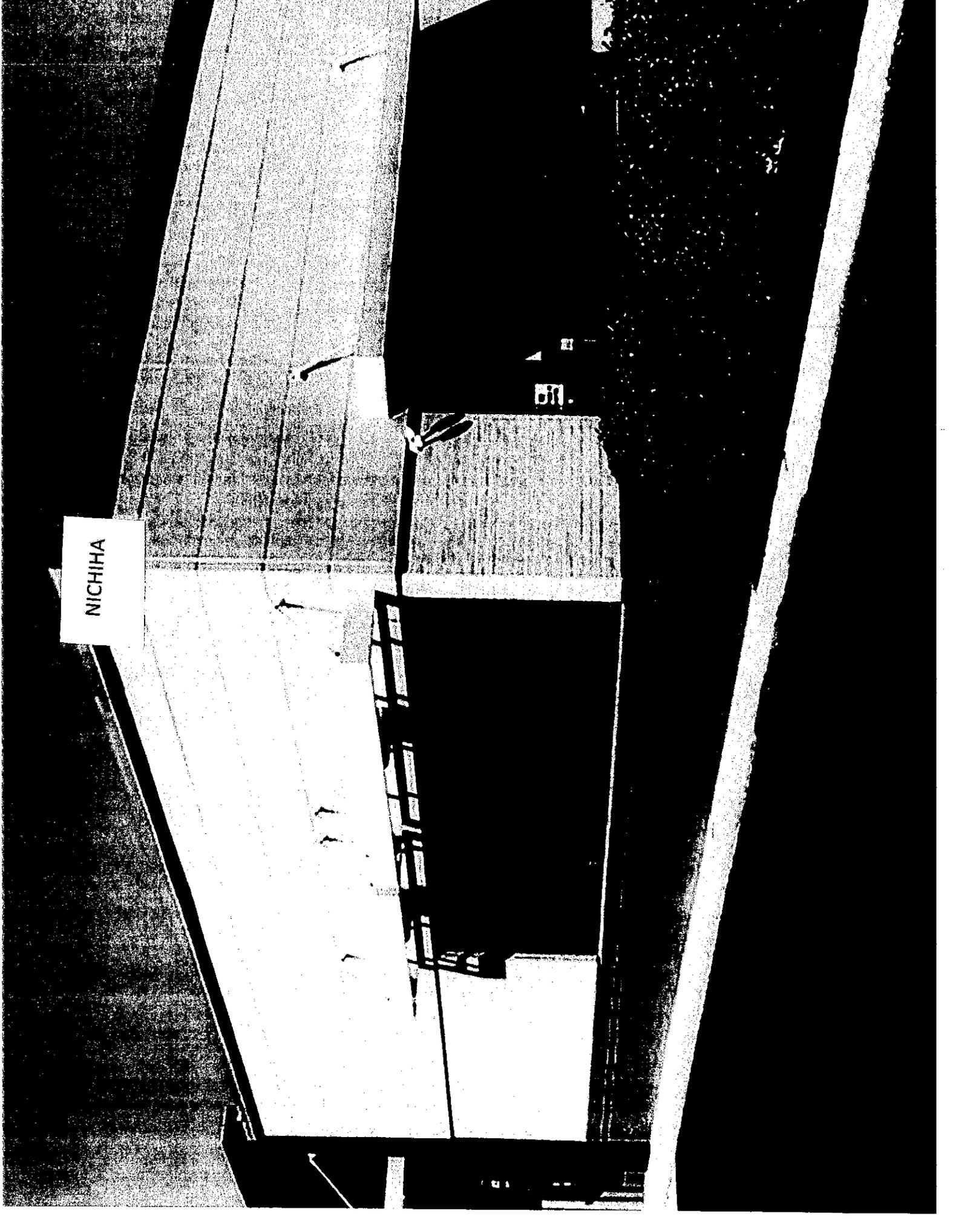


NON-COMPOSITE METAL PANEL



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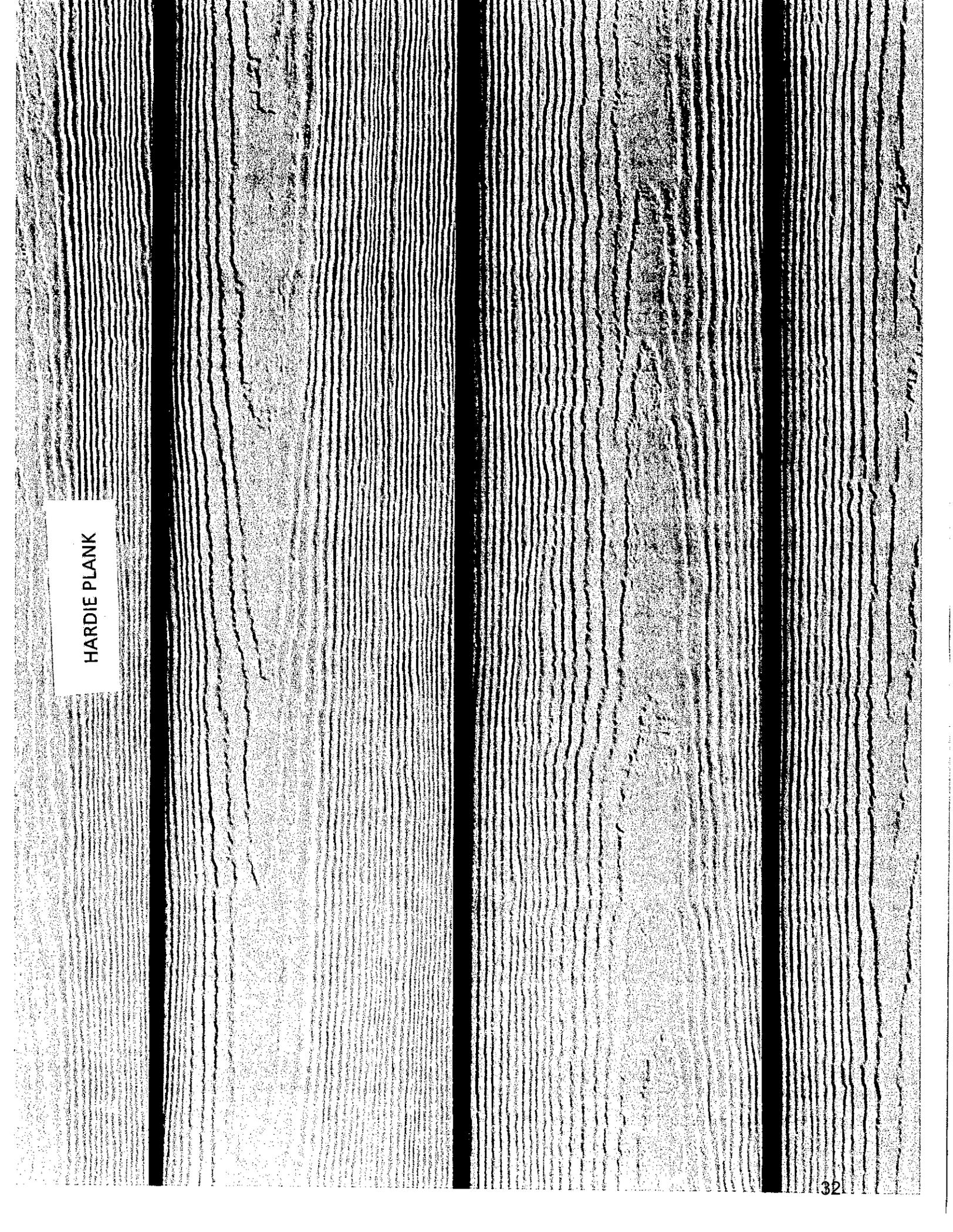
511.



FACING BRICK

COMPOSITE METAL PANEL

Co



HARDIE PLANK